

LA VISTA CITY COUNCIL MEETING AGENDA
January 21, 2020
6:00 P.M.
Harold "Andy" Anderson Council Chamber
La Vista City Hall
8116 Park View Blvd

- **Call to Order**
- **Pledge of Allegiance**
- **Announcement of Location of Posted Open Meetings Act**
- **Appointment**
- Library Advisory Board – Reappoint Valerie Russell – 2 year term

All matters listed under item A, Consent Agenda, are considered to be routine by the city council and will be enacted by one motion in the form listed below. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

A. CONSENT AGENDA

1. **Approval of the Agenda as Presented**
 2. **Approval of the Minutes of the January 7, 2020 City Council Meeting**
 3. **Approval of the Minutes of the January 11, 2020 City Council Strategic Planning Retreat**
 4. **Approval of the Minutes of the December 12, 2019 Planning Commission Minutes**
 5. **Monthly Financial Report – November 2019**
 6. **Request for Payment – Hunden Strategic Partners – Professional Services – Economic Work – \$4,500.00**
 7. **Request for Payment – Midwest Right of Way Services, Inc. – Professional Services – 120th & Giles Total Acquisition – \$427.50**
 8. **Request for Payment – Thompson, Dreessen & Dorner, Inc. – Professional Services – Phase 2 Golf Course Transformation – Proposed Lake Improvements – \$632.65**
 9. **Request for Payment – Water's Edge Aquatic Design, LLC – Professional Services – Concept Planning – \$9,437.50**
 10. **Approval of Claims**
- **Reports from City Administrator and Department Heads**
 - **Presentation – Employee Information Displays**
- B. Conditional Use Permit – Casey's Retail Company – Lot 3, Harrison Hills**
1. **Public Hearing**
 2. **Resolution**
- C. Resolution – Interlocal Agreement – Sarpy County Traffic Task Force**
- D. Resolution – Community Event Guide – Printing and Mailing Services**
- E. Resolution – Authorize Purchase – Utility Dump Trailer**
- F. Resolution – Authorize Request for Proposals – Engineering Services**
- G. Executive Session: Land Acquisition**
- **Comments from the Floor**
 - **Comments from Mayor and Council**
 - **Adjournment**

The public is welcome and encouraged to attend all meetings. If special accommodations are required, please contact the City Clerk prior to the meeting at 402-331-4343. A copy of the Open Meeting Act is posted in the Council Chamber and available in the public copies of the Council packet. Citizens may address the Mayor and Council under "Comments from the Floor." Comments should be limited to three minutes. We ask for your cooperation in order to provide for an organized meeting.

MINUTE RECORD

A-2

No. 729 — REEFIELD & COMPANY, INC. OMAHA E1310556LD

LA VISTA CITY COUNCIL MEETING JANUARY 7, 2020

A meeting of the City Council of the City of La Vista, Nebraska was convened in open and public session at 6:00 p.m. on January 7, 2020. Present were Councilmembers: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Also in attendance were City Attorney McKeon, City Administrator Gunn, Assistant City Administrator Ramirez, City Clerk Buethe, Police Chief Lausten, Director of Administrative Services Pokorny, Library Director Barcal, Recreation Director Stopak, Finance Director Miserez, Director of Public Works Soucie, City Engineer Dowse, Human Resources Director Trail, and Community Development Director Fountain.

A notice of the meeting was given in advance thereof by publication in the Times on December 25, 2019. Notice was simultaneously given to the Mayor and all members of the City Council and a copy of the acknowledgment of the receipt of notice attached to the minutes. Availability of the agenda was communicated to the Mayor and City Council in the advance notice of the meeting. All proceedings shown were taken while the convened meeting was open to the attendance of the public. Further, all subjects included in said proceedings were contained in the agenda for said meeting which is kept continuously current and available for public inspection at City Hall during normal business hours.

Mayor Kindig called the meeting to order, led the audience in the Pledge of Allegiance, and made the announcements.

SERVICE AWARD: TRAVIS PROSSER – 15 YEARS

Mayor Kindig presented Travis Prosser with a service award for 15 years of service to the City.

APPOINTMENTS: PLANNING COMMISSION – REAPPOINT KATHLEEN ALEXANDER, GAYLE MALMQUIST – 3 YEAR TERM – LIBRARY ADVISORY BOARD – REAPPOINT KIM SCHMIT-POKORNY – 2 YEAR TERM

Mayor Kindig stated, with the approval of the City Council, he would like to re-appoint Kathleen Alexander and Gayle Malmquist to the Planning Commission for 3-year terms and to re-appoint Kim Schmit-Pokorny to the Library Advisory Board for a 2-year term.

Councilmember Sheehan made a motion to approve the re-appointments. Seconded by Councilmember Quick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale, and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

CONSENT AGENDA

1. APPROVAL OF THE AGENDA AS PRESENTED
2. APPROVAL OF THE MINUTES OF THE DECEMBER 17, 2019 CITY COUNCIL MEETING
3. OCCUPATION TAX REPORT
4. REQUEST FOR PAYMENT – BERRY DUNN MCNEIL & PARKER, LLC – PROFESSIONAL SERVICES – STRATEGIC TECHNOLOGY PLAN – \$2,800.00
5. REQUEST FOR PAYMENT – DLR GROUP – PROFESSIONAL SERVICES – CITY CENTRE PARKING FACILITY CA – \$1,349.28
6. REQUEST FOR PAYMENT – OLSSON – PROFESSIONAL SERVICES – CITY CENTRE PHASE 1 PUBLIC INFRASTRUCTURE – \$42,545.50
7. REQUEST FOR PAYMENT – THOMPSON, DREESSEN & DORNER, INC. – PROFESSIONAL SERVICES – MISCELLANEOUS CIVIL ENGINEERING SERVICES – \$2,618.50
8. APPROVAL OF CLAIMS

ABM INDUSTRIES INC, services	9,299.76
ACTION BATTERIES, maint.	330.13
ALTEC INDUSTRIES INC, maint	549.12
AMAZON CAPITAL, services	79.99
AMERICAN RECYCLING, services	29.40
AT&T MOBILITY LLC, phones	93.82
AUTOSOUND AND MORE, maint.	615.00
BADGER BODY & TRUCK, maint.	110.00

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BAUER BUILT INC, maint.	215.50
BAXTER CHRYSLER DODGE JEEP, maint.	105.23
BLACK HILLS ENERGY, utilities	6,211.45
BOB'S RADIATOR REPAIR, maint.	175.00
BROWNELLS INC, supplies	42.33
CALENTINE, J., travel	13.29
CARL JARL LOCKSMITHS, services	1,243.60
CCH INC, services	1,775.00
CELLEBRITE INC, services	3,700.00
CENTER POINT INC, books	364.32
CENTURION TECHNOLOGIES, services	162.50
CENTURY LINK, phones	309.88
CENTURY LINK BUSN SVCS, phones	127.71
CINTAS CORP, apparel	688.15
CITY OF COUNCIL BLUFFS, services	128.40
CITY OF PAPHILLION, services	194,970.03
COMMERCIAL SEEDING CONTRACTORS, services	2,662.50
COMP CHOICE INC, services	489.00
CONTINENTAL RESEARCH CORP, services	403.26
CONVERGE ONE INC, services	3,705.57
CORNHUSKER STATE INDUSTRIES, services	202.03
COX COMMUNICATIONS INC, services	147.03
CULLIGAN OF OMAHA services	8.50
D & K PRODUCTS, supplies	416.50
DIAMOND VOGEL PAINTS, bld&grnds	239.00
DOUGLAS COUNTY SHERIFF'S OFC, services	162.50
DULTMEIER SALES LLC, supplies	310.33
EBIX INC, supplies	313.00
EDGEWEAR SCREEN PRINTING, apparel	2,431.50
FASTSIGNS, services	354.26
FEY, A., travel	279.50
FITZGERALD SCHORR BARMETTLER, services	50,465.20
FLEETPRIDE, maint.	14.24
FOCUS PRINTING, supplies	1,175.12
FOSTER, T., travel	35.50
GALE, books	77.22
GOV'T FINANCE OFFICERS ASSOC, services	340.00
GRAYBAR ELECTRIC CO, services	147.68
HDR ENGINEERING INC, services	1,049.58
HEARTLAND TIRES & TREADS, maint.	511.30
HOSE & HANDLING INC, services	20.83
HUNDEN STRATEGIC PARTNERS, services	4,800.00
HY-VEE INC, supplies	43.70
INGRAM LIBRARY SERVICES, books	1,739.20
JOHNSTONE SUPPLY CO, bld&grnds	53.58
KIMBALL MIDWEST, supplies	725.42
KRIHA FLUID POWER, maint.	1,173.15
LV COMM FOUNDATION, payroll	60.00
LARSEN SUPPLY CO, supplies	84.92
LEXIS NEXIS MATTHEW BENDER, services	247.10
LIBRARY IDEAS LLC, books	699.10
LOGAN CONTRACTORS SUPPLY, maint.	242.87
LOU'S SPORTING GOODS, supplies	677.75
MALLOY ELECTRIC, bld&grnds	471.28
MARCO INC, services	150.12
MARK HYDRAULIC CO. maint.	2.08
MATHESON TRI-GAS INC, bld&grnds	298.68
MENARDS-RALSTON, bld&grnds	581.19
METRO CHIEFS ASSOC, services	75.00
METRO COMM COLLEGE, services	15,413.40

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MUD, utilities	2,606.67
MICRO PLUMBING, refund	30.00
MID-STATES ORGANIZED CRIME INFO, services	200.00
MIDWEST TAPE, media	59.33
MILLARD METAL SERVICES INC, maint.	454.00
MSC INDUSTRIAL, supplies	910.80
NAT'L RESEARCH CENTER INC, services	5,715.00
NEB ARBORISTS ASSOC, services	560.00
NEBRASKALAND TIRE INC, maint.	458.57
NMC EXCHANGE LLC, maint.	1,011.79
NOBBIES INC, supplies	25.98
NORTH AMERICAN RESCUE, services	1,072.98
OCLC INC, services	161.21
OFFICE DEPOT INC, supplies	1,757.78
O'KEEFE ELEVATOR CO, services	1,227.84
OPPD, utilities	10,074.04
OMAHA WORLD-HERALD, services	1,383.20
OMNI ENGINEERING, services	261.90
OVERHEAD DOOR CO, bld&grnds	118.00
PITNEY BOWES, supplies	356.66
PLAINS EQUIPMENT GROUP, maint.	1,249.62
PLUTA, D., travel	164.50
PROTECH ELECTRIC, services	2,571.11
RALSTON ADVERTISING, supplies	453.25
RDG PLANNING & DESIGN, services	7,115.72
REACH SPORTS MARKETING, services	350.00
RED WING BUSINESS ADVANTAGE, apparel	150.00
ROBERT T. HENNRICH, maint.	429.00
ROCKMOUNT RESEARCH & ALLOYS, supplies	610.54
SAPP BROS, INC., maint.	963.00
SARPY COUNTY COURTHOUSE, services	4,207.68
SARPY COUNTY FISCAL ADMINSTRTN, services	22,815.15
SCARPA, D., travel	123.50
SCHEMMER ASSOCIATES INC, services	2,110.00
SCHLEGEL, J., travel	123.50
SUBSURFACE SOLUTIONS, services	3,007.00
SUBURBAN NEWSPAPERS INC, services	78.00
SUNSET LAW ENFORCEMENT LLC, services	1,618.20
SWAN ENGINEERING LLC, services	4.00
COUNCIL OF STATE GOVERNMENTS, books	112.50
TRACTOR SUPPLY, services	252.84
TRAIL, RANDY, supplies	66.90
TRUCK CENTER CO, maint.	30.54
UHE, R., travel	123.50
UNITE PRIVATE NETWORKS LLC, services	4,400.00
VALUATION SERVICES, services	2,500.00
VERIZON CONNECT, phones	731.25
VERIZON WIRELESS, phones	254.83
VIERREGGER ELECTRIC CO, services	1,703.00
WATER'S EDGE AQUATIC DESIGN, services	21,540.00
WELLINGTON EXPERIENCE, INC, services	9,000.00
WHITE CAP CONSTR SUPPLY, maint.	199.17
WICK'S STERLING TRUCKS, maint.	101.03
WORLD BOOK INC, books	3,115.00

Councilmember Frederick made a motion to approve the consent agenda. Seconded by Councilmember Thomas. Councilmember Crawford reviewed the bills and stated everything was in order. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale, and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

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REPORTS FROM CITY ADMINISTRATOR AND DEPARTMENT HEADS

City Administrator Gunn reported that the Council's Strategic Thinking Session will be held at the Library on Saturday, January 11.

Director of Administrative Services Pokorny reported on the Restaurants and Drinking Places Occupation Tax.

Library Director Barcal reported that the Library celebrated their 20th anniversary in their building and that in the last twenty years, they have hosted 10,500 programs, circulated 2.77 million items, and welcomed over 2.1 million patrons.

Police Chief Lausten reported on New Year's Eve fireworks complaints, recruit testing, and the Citizens' Police Academy. He also congratulated Captain Armbrust for completing the training academy in Washington D.C.

B. PRESENTATION – 2019 NATIONAL COMMUNITY SURVEY

Assistant to the City Administrator Prouhet shared key survey results with the Mayor and City Council.

C. RESOLUTION – AUTHORIZE AMENDMENT NO. 3 TO PROFESSIONAL SERVICES AGREEMENT – 84TH STREET REDEVELOPMENT AREA – OFFSTREET PARKING DISTRICT NO. 2, STRUCTURE NO. 1

Councilmember Thomas introduced and moved for the adoption of Resolution No.20-001 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA APPROVING AMENDMENT NUMBER THREE TO THE PROFESSIONAL SERVICES AGREEMENT WITH OLSSON TO PROVIDE ADDITIONAL CONSTRUCTION PHASE ENGINEERING SERVICES RELATED TO OFFSTREET PARKING DISTRICT NO. 2, STRUCTURE NO. 1 IN AN ADDITIONAL AMOUNT NOT TO EXCEED \$9,190.00.

WHEREAS, the Mayor and City Council of the City of La Vista Nebraska have determined additional construction phase engineering services related to Offstreet Parking District No. 2, Structure No. 1 are necessary; and

WHEREAS, the City Council on behalf of the City of La Vista desires to approve amendment number three to the professional services agreement with Olsson to provide additional construction phase engineering services; and

WHEREAS, the not-to-exceed fee will increase by \$9,190.00 to a total of \$62,225.00; and

WHEREAS, The FY19/FY20 Biennial Budget provides funding for this project;

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of the City of La Vista, Nebraska, do hereby approve amendment number three to the professional services agreement with Olsson to provide additional construction phase engineering services related to Offstreet Parking District No. 2, Structure 1 in an additional amount not to exceed \$9,190.00.

Seconded by Councilmember Sheehan. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale, and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

D. RESOLUTION – AUTHORIZE RENEWAL – COMPUTER SOFTWARE SUBSCRIPTION

Councilmember Sell introduced and moved for the adoption of Resolution No. 20-002 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE RENEWAL OF A WEBSITE SECURITY AND FILTERING SOFTWARE SUBSCRIPTION FOR CITYWIDE SERVICES FROM SHI IN AN AMOUNT NOT TO EXCEED \$9,000.00.

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WHEREAS, the City Council of the City of La Vista has determined that the renewal of a website security and filtering software subscription for citywide services is necessary; and

WHEREAS, the FY19/20 Biennial Budget provides funding for the proposed Information Technology purchases; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the city administrator secure Council approval prior to authorizing any purchase over \$5,000.00;

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby authorize the purchase of a website security and filtering software subscription for citywide services from SHI in an amount not to exceed \$9,000.00.

Seconded by Councilmember Hale. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale, and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

E. RESOLUTION – AUTHORIZE PURCHASE – COMPUTER SOFTWARE

Councilmember Quick introduced and moved for the adoption of Resolution No. 20-003 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE PURCHASE OF A MS EXCHANGE ONLINE SUBSCRIPTION FOR CITYWIDE SERVICES FROM SHI IN AN AMOUNT NOT TO EXCEED \$15,500.00.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of a MS Exchange online subscription for citywide services is necessary; and

WHEREAS, the FY19/20 Biennial Budget provides funding for the proposed Information Technology purchases; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the city administrator secure Council approval prior to authorizing any purchase over \$5,000.00;

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby authorize the purchase of a MS Exchange Online Subscription for citywide services from SHI in an amount not to exceed \$15,500.00.

Seconded by Councilmember Thomas. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale, and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

F. RESOLUTION – AUTHORIZE PURCHASE – COMPUTER EQUIPMENT – STATE CONTRACT AWARD

Councilmember Frederick introduced and moved for the adoption of Resolution No. 20-004 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE PURCHASE OF TWENTY-THREE (23) COMPUTERS AND TEN (10) BATTERY BACKUPS THROUGH THE STATE CONTRACT BID FROM DELL IN AN AMOUNT NOT TO EXCEED \$33,130.00.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of twenty-three (23) computers for various City departments is necessary; and

WHEREAS, the FY19/20 Biennial Budget provides funding for the proposed Information Technology purchases; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the city administrator secure Council approval prior to authorizing any purchase over \$5,000.00;

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NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby authorize the purchase of twenty-three (23) computers and ten (10) battery backups through the State Contract bid from Dell in an amount not to exceed \$33,130.00.

Seconded by Councilmember Thomas. There was a Council request for a copy of the computer specifications. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale, and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

G. RESOLUTION – AUTHORIZE AGREEMENT – STORM WATER PUBLIC EDUCATION & OUTREACH CONSULTANT SERVICES

Councilmember Sell introduced and moved for the adoption of Resolution No.20-005 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE PARTNERSHIP WITH THE CITY OF PAPIILLION, NEBRASKA IN THE EXECUTION OF A CONSULTING SERVICES AGREEMENT WITH CIVIC NEBRASKA FOR PUBLIC EDUCATION AND OUTREACH REGARDING THE NPDES MS4 PERMIT FOR PUBLIC STORM SEWER DISCHARGES IN AN AMOUNT NOT TO EXCEED \$3,000.00

WHEREAS, the Mayor and City Council have determined that public education and outreach regarding the NPDES permit for public storm sewer discharges is necessary; and

WHEREAS, it is desirable to partner with the City of Papillion to maximize outreach efforts; and

WHEREAS, the consulting services agreement has a not-to-exceed cost of \$6,000 with each City responsible for 50 percent of the consulting services; and

WHEREAS, the FY19/20 Biennial Budget includes funding for the proposed project and related costs;

NOW, THEREFORE BE IT RESOLVED, by the Mayor and City Council of La Vista, Nebraska, that a consulting services agreement, in a form satisfactory to the City Administrator and City Attorney, be authorized with Civic Nebraska for public education and outreach in an amount not to exceed \$3,000.00.

Seconded by Councilmember Thomas. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale, and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

H. DISCUSSION – RECREATION DEPT. – STAFF PLANNING/POSITION DESCRIPTIONS

Assistant City Administrator Ramirez gave an overview of the analysis of the department staffing and position descriptions for the Recreation Department. Recreation Director Scott Stopak presented the current staffing structure and duties and the programs provided. Council discussion was held.

COMMENTS FROM THE FLOOR

Trish Donohue commented on the Senior Center and the need for a fulltime Senior Coordinator.

COMMENTS FROM MAYOR AND COUNCIL

Mayor Kindig reported that there are two vacancies on the Park and Recreation Advisory Board and that the Legislature convenes tomorrow.

At 6:49 p.m. Councilmember Crawford made a motion to adjourn the meeting. Seconded by Councilmember Thomas. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale, and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

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PASSED AND APPROVED THIS 21ST DAY OF JANUARY 2020.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Bueth, CMC
City Clerk

MINUTE RECORD

A-3

No. 729 — REFIELD & COMPANY, INC. OMAHA E1310556LD

LA VISTA CITY COUNCIL STRATEGIC PLANNING RETREAT January 11, 2020

A work session of the City Council of the City of La Vista, Nebraska was convened in open and public session at 8:30 a.m. on January 11, 2020 at the La Vista Public Library. Present were Councilmembers: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Also in attendance were City Attorney McKeon, City Administrator Gunn, Assistant City Administrator Ramirez, City Clerk Buethe, Police Chief Lausten, Director of Public Works Soucie, City Engineer Dowse, Human Resources Director Trail, Community Development Director Fountain, Library Director Barcal, and Recreation Director Stopak.

A notice of the work session was given in advance thereof by publication in the Times on January 1, 2020. Notice was simultaneously given to the Mayor and all members of the City Council and a copy of the acknowledgment of the receipt of notice attached to the minutes. Availability of the agenda was communicated to the Mayor and City Council in the advance notice of the meeting. All proceedings shown were taken while the convened meeting was open to the attendance of the public. Further, all subjects included in said proceedings were contained in the agenda for said meeting which is kept continuously current and available for public inspection at City Hall during normal business hours.

Mayor Kindig called the work session to order, led the audience in the Pledge of Allegiance, and made the announcements.

1. INTRODUCTION

The Mayor welcomed the group to the work session.

2. STRATEGIC PLANNING RETREAT

The Council, along with staff, reviewed the Strategic Plan and Department Plans and prioritized objectives and action items.

COMMENTS FROM MAYOR AND COUNCIL

There were no comments from the Mayor and Council.

The Mayor declared the work session adjourned at 4:17 p.m.

PASSED AND APPROVED THIS 21ST DAY OF JANUARY, 2020.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

A-4



CITY OF LA VISTA
8116 PARK VIEW BOULEVARD
LA VISTA, NE 68128
P: (402) 331-4343

PLANNING COMMISSION MINUTES
DECEMBER 12, 2019 6:30 P.M.

The City of La Vista Planning Commission held a meeting on Thursday, December 12th in the Harold “Andy” Anderson Council Chamber at La Vista City Hall, 8116 Park View Boulevard. Chairman Kevin Wetuski called the meeting to order at 6:30 p.m. with the following members present: Gayle Malmquist, John Gahan, Jason Dale, Mike Krzywicki, Josh Frey, and Kevin Wetuski. Members absent were: Patrick Coughlan, Harold Sargus, Kathleen Alexander, and Mike Circo. Also, in attendance were Chris Solberg, Senior Planner; Cale Brodersen, Assistant Planner; Meghan Engberg, Permit Technician; and Pat Dowse, City Engineer.

Legal notice of the public meeting and hearing were posted, distributed and published according to Nebraska law. Notice was simultaneously given to all members of the Planning Commission. All proceedings shown were taken while the convened meeting was open to the attendance of the public.

1. Call to Order

The meeting was called to order by Chairman Wetuski at 6:30 p.m. Copies of the agenda and staff reports were made available to the public.

2. Approval of Meeting Minutes – November 21, 2019

Malmquist moved, seconded by *Krzywicki*, to approve the November 21st minutes. **Ayes: Gahan, Wetuski, Krzywicki, Frey, Dale, and Malmquist. Nays: None. Abstain: None. Absent: Coughlan, Sargus, Alexander, and Circo. Motion Carried, (6-0)**

3. Old Business

None.

4. New Business

A. Conditional Use Permit – Casey’s – Lot 3 Harrison Hills

- i. **Staff Report – Cale Brodersen:** Brodersen stated that the applicant, Casey’s, is looking for a Conditional Use Permit to operate a convenience store with limited fuel sales. He said that the site is located approximately on Harrison and 118th Streets. He mentioned that the applicant will be giving a short presentation, but that he wanted to touch upon a few things before they came up. Brodersen said that a traffic impact analysis was completed for this project as well as one in conjunction with Streck to look at the combined impact of both locations. He said that the study showed that there may be some signal improvements required by the City of Omaha, so they put a condition in the CUP that any improvements to

the signals required by the City of Omaha must be made before the certificate of occupancy can be received. He then wanted to note that the site is within the Gateway Corridor District, so the development does have to follow the city's design review process, which is almost complete, but there are a few items that need to be addressed prior to having a building permit issued to them. Brodersen stated that staff recommends approval of the Conditional Use Permit, contingent on the finalization of the design review process, as the CUP request is consistent with the Comprehensive Plan and the Zoning Ordinance.

ii. **Applicant Presentation:** Rob Duvall, from Schemmer, came up and spoke on behalf of the applicant. He said that they are proposing the Conditional Use Permit for a 6,000 square foot convenient store on 118th and Harrison. He said that it will be a 24-hour store with 12 pumps. He stated that everything is designed per code and that he is there to show the site plan and answer any questions.

iii. **Public Hearing: Wetuski opened the public hearing.**

Wetuski closed the public hearing as no members of the public came forward.

iv. **Recommendation:** Gahan moved, seconded by Malmquist to recommend approval of the Conditional Use Permit, contingent on the finalization of the design review process, as the CUP request is consistent with the Comprehensive Plan and the Zoning Ordinance. **Ayes: Gahan, Wetuski, Krzywicki, Frey, Dale, and Malmquist. Nays: None. Abstain: None. Absent: Coughlan, Sargus, Alexander, and Circo. Motion Carried, (6-0)**

B. Comprehensive Plan Amendment: Future Land Use Map – West Management, LLC – Lot 3 Echo Hills

i. **Staff Report - Chris Solberg:** Solberg stated that the applicant, West Management, LLC, is requesting an amendment to the Future Land Use Map of the Comprehensive Plan for Echo Hills Lot 3, located generally northwest of the intersection of Chandler Road and 144th Street. The overall application includes the approval of an amendment to the Future Land Use Map of the Comprehensive Plan, Rezoning, PUD Site Plan, and a Preliminary Plat. Solberg stated that the intention for the space is for the development of an assisted living facility, memory care facility, multi-family housing, a restaurant, retail space, and drive-thru coffee shop. Staff recommends approval of the Comprehensive Plan Amendment, contingent on the satisfactory resolution of the issues stated within this staff report prior to City Council approval.

ii. **Applicant Presentation:** Brett West came up and spoke on behalf of the applicant. He said that he has several partners in this project and they have been working on this project for a little while to find a good use for this location. He stated that they

have been working with the current land owner and have it under contract and that that what they are wanting to do is very similar to a project they did in Lincoln.

West then showed renderings to the commission and public of what their plans were for the site. The assisted living quarters would include 60 units of assisted living and 20 units of memory care. He said that the site is obviously larger than what they are needing for that, so as a development professional, him and his partners also thought this site would be good for an apartment complex as well. He then showed where the apartments and commercial building would be going as well.

He said that they have met with the DOT about the opportunity to access this site on 144th and/or Chandler Road and at this point, neither of those were options they could look at. He mentioned that there have been concerns about that, but they have met with the DOT. West mentioned that they did have a traffic study done, and largely the roads take the requirements that this would add to it from a traffic stand point. They will have to do some improvements on Chandler Rd. and are more than willing to do that.

iii. Public Hearing: Wetuski opened the public hearing.

Nicole Saathoff came up and spoke about the project. She said that her main concern is the increase in traffic that will be happening at 146th and Echo Hills Dr. She said that it is already a very busy intersection and people blow through the stop sign. She is concerned about what kind of traffic the apartment complex will bring in and is also concerned about the safety of the children that would be going to the park in that area.

Kathy Seymour came up and spoke about the project. She said that she agreed about the concerns of the increased traffic. She doesn't feel that the streets in the neighborhood will support the traffic. She mentioned that there has been a desire for a traffic light at 144th and Echo Hills Drive for years and feel that it is necessary due to the increased traffic. She stated that she is opposed to the new development coming in.

Robert Seymour came up and spoke about the project. He said that one of his concerns is how narrow the street is from Highway 50 going west on Echo Hills. He said that they already allow parking on one side, which people continually violate by parking on both sides of the street, which makes it very difficult to get through. He feels that there should not be any parking allowed on the street if this development were to happen and feels that there needs to be a light at Highway 50 and Echo Hills. Mr. Seymour then stated that he would like to see the light on Chandler Rd. stay,

but to see Chandler widened since it's also one of the proposed entrances for this site.

Jeremy Saathoff came up and spoke about the project. He said that he feels that traffic will increase and that as a SID they will be liable for repairs on the road. He mentioned that they are going to be an estimated 3100 cars daily driving through their streets now and wanted to know who is going to pay for street repairs. He then brought up that in the summer, spring, early fall, they get cars backed up from the park to his house. He brought up the traffic study and said that he didn't see anywhere that a study was done on 146th and Echo Hills Dr., which is the busiest intersection in that neighborhood.

Andre Steinbergs came up and spoke about the project. He said that he lives directly across that open field and that it has been kind of ideal having that there because they can see across and have privacy. He said that his main concern is privacy and accessibility. He is also concerned about traffic increase and people parking on both sides of the street. Steinbergs brought up that he is also concerned about what he will see when he looks out his front window. He is wanting to know if there is going to be some type of a fence or barrier or will he be looking at buildings and apartments. He also brought up the danger of the intersection at 144th and Echo Hills Dr.

John Warren came up and spoke about the project. He is also concerned about the accessibility, safety and increase in traffic. He mentioned that since they are a SID, they pay for the maintenance of the roads, the park and the mowing and asked who is going to pay for everything if this development comes in. He then asked if the county or the city will be plowing the streets.

Solberg said that since they are still a SID, they contract that [the plowing of the streets] out.

Warren asked if the meeting tonight was for approval to rezone this and asked how it's zoned now.

Solberg said that it is currently zoned C-1.

Warren asked if C-1 would allow this development to take place.

Solberg said that C-1 would allow for the commercial development that's being proposed. He said that we are here tonight to vote on the rezoning of the property.

Warren brought up that this lot has been vacant for over 30 years because of the price tag attached to it and because it's zoned commercial. It's not zoned for what the developer wants to do.

Bob Ireland came up and spoke about the project. He said that he is pleased to see interest in the property and said that from the looks of the renderings, they are beautiful buildings and that he appreciates that effort that has gone into doing the research for this project. He said that one of the interests that he had is in the safety of the kids with the increased traffic, especially by the park. He said that 146th is only designed for two-way traffic with no on-street parking, so trying to mitigate how that traffic flow will work, especially with the C-1 property, is a concern. He said that he is all for the coffee shop and having a restaurant but having it right in front of a park with a high amount of traffic flow that already exists and bringing in more needs to be taken into consideration. He mentioned that he wasn't there at the SID meeting and was unable to ask questions. Ireland brought up the tax incentives and property value that is being invested into this and asked if that will be invested back into the SID to help pay for some of the road repairs and other things.

West came back up to address the concerns and comments that were made by the public. He said that they did not make any suggested changes at this time. They requested some feedback from the SID because they understand the traffic issue. They had a traffic study done by a third party and what it suggested was to add a lighted left turn at the 144th and Chandler and stated that they agree with that. He said that it is a SID, so to clarify, this property would pay into the SID and would help cover any expenses related to that [road repairs]. He said that they did meet with the state and asked a lot of questions about access and unfortunately, that's the direction that they were given. They were "flat out" told "no" about creating an access off 144th St. and would have to purchase land from the DOT to be able to create an access off Chandler Rd. West said that they are there to be good neighbors. He then brought up the fact that the entire property is currently zoned C-1, so anything on a large-scale commercial side could go in there. They are downsizing the commercial from what could potentially go in there, which would have more of an impact on the traffic.

Malmquist asked if there had been any conversation with the DOT on a traffic signal at Echo Hills Dr.

West said yes and that the DOT is not in support of that because it's too close to their other light at 144th and Chandler.

Gahan verified that there is on-street parking on Echo Hills Dr. and 146th St.

West said there is.

Gahan asked if that was something that the city could address and make it so there is no parking on the street.

Solberg said that could be done through the SID's administrative actions.

Gahan verified that the SID could control that.

Solberg said yes.

Dale brought up the 4200 square feet of office/ retail space and asked if that is above where the pad for the restaurant would be.

West pointed out where the office/retail would be and the pointed out the restaurant. He said that no tenants have been confirmed since it's so early in the project, but the restaurant would more than likely be a sit-down establishment.

Krzywicki brought up the traffic control comparisons between C-1 and apartments trips per day and asked how long it took the apartments to reach the same amount of traffic in a day as C-1. He wanted to know which one was better from a traffic standpoint.

Solberg said that typically commercial has more traffic, however, apartments have more traffic during peak times.

Dowse said that along those lines, it really depends on what your use is. He did confirm that generally, commercial will have more traffic.

Wetuski closed the public hearing.

Krzywicki stated that one of the primary things that he heard is the traffic and the safety issue and that it's unfortunate that hands are tied with the state for improvements for traffic flow, safety, signalization, etc. He said that he hopes the developer will continue to work with whoever controls the intersections and that improvements can be made if the project continues to move forward.

Solberg reminded the planning commission that there are four different agenda items related to this.

- iv. **Recommendation:** *Malmquist* moved, seconded by *Dale* for approval of the Comprehensive Plan Amendment contingent on the satisfactory resolution of the

issues stated within this staff report prior to City Council approval. **Ayes: Gahan, Wetuski, Krzywicki, Frey, Dale, and Malmquist. Nays: None. Abstain: None. Absent: Coughlan, Sargus, Alexander, and Circo. Motion Carried, (6-0)**

C. Rezoning – West Management, LLC – Lot 3 Echo Hills

i. **Staff Report – Chris Solberg;** Solberg stated that the applicant, West Management, LLC, is requesting an approval of a Zoning Map Amendment for Lot 3 Echo Hills for the purpose of developing an assisted living facility, memory care facility, multi-family housing, a restaurant, retail space, and drive-thru coffee shop generally located northwest at the intersection of 144th and Chandler. Staff recommends approval of the Rezoning of proposed Lots 3 and 4 Echo Hills Replat 4 from C-1 Shopping Center Commercial and Gateway Corridor Overlay to C-1 Shopping Center Commercial, Gateway Corridor Overlay, and Planned Unit Development, and staff recommends approval of the Rezoning of proposed Lots 1 and 2 Echo Hills Replat 4 from C-1 Shopping Center Commercial and Gateway Corridor Overlay, and Planned Unit Development, as depicted in the Zoning Map Amendment Exhibit, contingent on the satisfactory resolution of the issues stated within this staff report prior to City Council approval.

ii. **Applicant Presentation:** Applicant did not come forward as he had nothing else to add or speak on.

iii. **Public Hearing: Wetuski opened the public hearing.**

Wetuski closed the public hearing as no members of the public came forward.

iv. **Recommendation: Malmquist moved, seconded by Dale to recommend approval for the rezoning of proposed Lots approval of the Rezoning of proposed Lots 3 and 4 Echo Hills Replat 4 from C-1 Shopping Center Commercial and Gateway Corridor Overlay to C-1 Shopping Center Commercial, Gateway Corridor Overlay, and Planned Unit Development, and recommends approval of the Rezoning of proposed Lots 1 and 2 Echo Hills Replat 4 from C-1 Shopping Center Commercial and Gateway Corridor Overlay, and Planned Unit Development, as depicted in the Zoning Map Amendment Exhibit, contingent on the satisfactory resolution of the issues stated within this staff report prior to City Council approval. **Ayes: Gahan, Wetuski, Krzywicki, Frey, Dale, and Malmquist. Nays: None. Abstain: None. Absent: Coughlan, Sargus, Alexander, and Circo. Motion Carried, (6-0)****

D. Planned Unit Development – West Management. LLC – Lot 3 Echo Hills

- i. **Staff Report – Chris Solberg:** Solberg stated that the applicant, West Management, LLC, is requesting a Planned Unit Development approval for Lot 3 Echo Hills. Staff recommends approval of the Planned Unit Development, contingent on the satisfactory resolution of the issues stated within this staff report prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan (as amended) and the Zoning Ordinance.
- ii. **Applicant Presentation:** The applicant did not come forward as he had nothing to add or speak on.
- iii. **Public Hearing: Wetuski opened the public hearing.**

Wetuski closed the public hearing as no members of the public came forward.

- iv. **Recommendation:** *Gahan* moved, seconded by *Malmquist* to recommend for approval item 4D, the approval of the Planned Unit Development, contingent on the satisfactory resolution of the issues stated within this staff report prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan (as amended) and the Zoning Ordinance. **Ayes: *Gahan, Wetuski, Krzywicki, Frey, Dale, and Malmquist.* Nays: *None.* Abstain: *None.* Absent: *Coughlan, Sargus, Alexander, and Circo.* Motion Carried, (6-0)**

E. Preliminary Plat – West Management, LLC – Lot 3 Echo Hills

- i. **Staff Report – Chris Solberg:** Solberg stated that the applicant, West Management, LLC, is requesting an approval of a Preliminary Plat for Lot 3 Echo Hills into 4 separate lots for development generally located Northwest of the intersection of 144th and Chandler. Staff recommends approval of the Preliminary Plat for Lot 3 Echo Hills, being replatted a Lots 1-4 Echo Hills Replat 4, contingent on the satisfactory resolution of the issues stated within this staff report prior to City Council approval. Solberg said that it is also noted to City Council that they will have to come back for final plat approval as well as Conditional Use Permit for the senior housing and apartments.
- ii. **Applicant Presentation: Applicant did not come forward as he had nothing to add or speak on.**

Krzywicki said that based on the Preliminary Plat that was presented if there is anything that the developer can do to modify and help mitigate some of the traffic concerns that the neighbors have voiced would be greatly appreciated.

iii. Recommendation: Malmquist moved, seconded by *Gahan* to recommend to City Council the approval of the Preliminary Plat for Lot 3 Echo Hills, being replatted as Lots 1-4 Echo Hills Replat 4, contingent on the satisfactory resolution of the issues stated within this staff report. **Ayes: Gahan, Wetuski, Krzywicki, Frey, Dale, and Malmquist. Nays: None. Abstain: None. Absent: Coughlan, Sargus, Alexander, and Circo. Motion Carried, (6-0)**

5. Comments from the Floor:

None.

6. Comments from the Planning Commission:

Gahan mentioned that the commission had voted 6 months ago on the 6:30 p.m. start and that they were going to readdress the start time in December to see if it was going to remain the same or change.

Solberg said that it is up for discussion.

Krzywicki asked how the 6 p.m. start time was working out for City Council and asked if it was better.

Solberg said that he hasn't heard any qualms about it and seemed perfectly fine with the start time. He said that it's completely up to them and what works best for the commission and making sure that there would be enough there for a quorum. Solberg said that it can be put on the January agenda. He also let them know that we will not be meeting on January 2nd.

7. Comments from Staff

Solberg said to be looking out for new developments that will be coming in future in planning commission meetings.

8. Adjournment

Wetuski adjourned the meeting at 7:26 p.m.

Reviewed by Planning Commission:

Planning Commission Secretary

Planning Commission Chair

Date

A-5

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Total All Funds

	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>OPERATING REVENUES</u>					
General Fund	\$ 19,268,775	\$ 850,899	\$ 1,861,323	\$ (17,407,452)	10%
Sewer Fund	4,410,092	374,123	732,687	(3,677,405)	17%
Debt Service Fund	4,037,476	255,647	510,200	(3,527,276)	13%
Capital Improvement Program Fund	22,411	-	-	(22,411)	0%
Lottery Fund	1,206,420	90,508	176,576	(1,029,844)	15%
Economic Development Fund	517	-	4	(513)	1%
Off Street Parking Fund	115,771	2,205	3,157	(112,614)	
Redevelopment Fund	2,441,569	212,884	420,058	(2,021,511)	17%
Police Academy	100,083	-	80,029	(20,054)	80%
TIF 1A	541,612	-	-	(541,612)	0%
TIF 1B	-	-	-	-	0%
Sewer Reserve Fund	8,937	784	1,484	(7,453)	17%
Qualified Sinking Fund	625	65	124	(501)	20%
Total Operating Revenues	32,154,288	1,787,115	3,785,642	(28,368,646)	12%

OPERATING EXPENDITURES

General Fund	18,932,599	1,588,352	2,818,992	(16,113,607)	15%
Sewer Fund	3,737,941	67,590	140,591	(3,597,350)	4%
Debt Service Fund	3,153,682	1,685,989	1,721,360	(1,432,322)	55%
Capital Improvement Program Fund	-	-	-	-	0%
Lottery Fund	710,076	30,430	65,754	(644,322)	9%
Economic Development Fund	137,466	-	-	(137,466)	0%
Off Street Parking Fund	1,241,698	530,425	531,199	(710,499)	43%
Redevelopment Fund	1,533,687	19,794	33,368	(1,500,319)	2%
Police Academy	98,596	8,682	17,814	(80,782)	18%
TIF 1A	541,612	-	-	(541,612)	0%
TIF 1B	-	-	-	-	0%
Sewer Reserve Fund	-	-	-	-	0%
Qualified Sinking Fund	-	-	-	-	0%
Total Operating Expenditures	30,087,357	3,931,263	5,329,077	(24,758,280)	18%

OPERATING REVENUES NET OF EXPENDITURES

General Fund	336,176	(737,453)	(957,668)	(1,293,844)
Sewer Fund	672,151	306,533	592,097	(80,054)
Debt Service Fund	883,794	(1,430,342)	(1,211,160)	(2,094,954)
Capital Improvement Program Fund	22,411	-	-	(22,411)
Lottery Fund	496,344	60,078	110,822	(385,522)
Economic Development Fund	(136,949)	-	4	136,953
Off Street Parking Fund	(1,125,927)	(528,220)	(528,042)	597,885
Redevelopment Fund	907,882	193,089	386,690	(521,192)
Police Academy	1,487	(8,682)	62,215	60,728
TIF 1A	-	-	-	-
TIF 1B	-	-	-	-
Sewer Reserve Fund	8,937	784	1,484	(7,453)
Qualified Sinking Fund	625	65	124	(501)
Operating Revenues Net of Expenditures	2,066,931	(2,144,147)	(1,543,435)	(3,610,366)

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Total All Funds

	<u>Budget</u> <u>(12 month)</u>	<u>MID</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>OTHER FINANCING SOURCES & USES</u>					
<u>TRANSFERS IN</u>					
General Fund	100,293	-	-	(100,293)	0%
Sewer Fund	3,000	-	-	(3,000)	0%
Debt Service Fund	214,782	-	88,131	(126,651)	41%
Capital Improvement Program Fund	1,142,500	-	-	(1,142,500)	0%
Lottery Fund	-	-	-	-	
Economic Development Fund	-	-	-	-	
Off Street Parking Fund	1,396,911	-	100	(1,396,811)	0%
Redevelopment Fund	200,000	-	-	(200,000)	0%
Police Academy	-	-	-	-	
TIF 1A	-	-	-	-	
TIF 1B	-	-	-	-	
Sewer Reserve Fund	728,630	-	-	(728,630)	0%
Qualified Sinking Fund	450,000	-	-	(450,000)	0%
Total Transfers In	4,236,116	-	88,231	(4,147,885)	2%
<u>TRANSFERS OUT</u>					
General Fund	(1,430,161)	-	(88,231)	1,341,930	6%
Sewer Fund	(728,630)	-	-	728,630	0%
Debt Service Fund	(1,255,003)	-	-	1,255,003	0%
Capital Improvement Program Fund	-	-	-	-	
Lottery Fund	(822,322)	-	-	822,322	0%
Economic Development Fund	-	-	-	-	
Off Street Parking Fund	-	-	-	-	
Redevelopment Fund	-	-	-	-	
Police Academy	-	-	-	-	
TIF 1A	-	-	-	-	
TIF 1B	-	-	-	-	
Sewer Reserve Fund	-	-	-	-	
Qualified Sinking Fund	-	-	-	-	
Total Transfers Out	(4,236,116)	-	(88,231)	4,147,885	2%
<u>NET TRANSFERS</u>					
General Fund	(1,329,868)	-	(88,231)	1,241,637	7%
Sewer Fund	(725,630)	-	-	725,630	0%
Debt Service Fund	(1,040,221)	-	88,131	1,128,352	
Capital Improvement Program Fund	1,142,500	-	-	(1,142,500)	0%
Lottery Fund	(822,322)	-	-	822,322	0%
Economic Development Fund	-	-	-	-	
Off Street Parking Fund	1,396,911	-	100	(1,396,811)	0%
Redevelopment Fund	200,000	-	-	(200,000)	0%
Police Academy	-	-	-	-	
TIF 1A	-	-	-	-	
TIF 1B	-	-	-	-	
Sewer Reserve Fund	728,630	-	-	(728,630)	0%
Qualified Sinking Fund	450,000	-	-	(450,000)	0%
Total Net Transfers	-	-	-	-	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Total All Funds

	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>OTHER REVENUE: BOND PROCEEDS</u>					
Sewer Fund	-	-	-	-	
Capital Improvement Program Fund	8,500,000	-	-	(8,500,000)	0%
Economic Development Fund	3,000,000	-	-	(3,000,000)	0%
Off Street Parking Fund	-	-	-	-	
Redevelopment Fund	6,500,000	-	-	(6,500,000)	0%
Total Bond Proceeds	<u>18,000,000</u>	<u>-</u>	<u>-</u>	<u>(18,000,000)</u>	<u>0%</u>
<u>OTHER EXPENDITURES: CAPITAL IMPROVEMENT PROGRAM</u>					
Sewer Fund	50,000	601	1,189	(48,811)	2%
Capital Improvement Program Fund	9,979,512	66,653	67,120	(9,912,392)	1%
Off Street Parking Fund	750,000	4,925	57,979	(692,021)	8%
Redevelopment Fund	10,700,000	27,004	57,254	(10,642,746)	1%
Total Capital Improvement Program	<u>21,479,512</u>	<u>99,184</u>	<u>183,542</u>	<u>(21,295,970)</u>	<u>1%</u>
<u>OTHER EXPENDITURES: EDP GRANT</u>					
Economic Development Fund	<u>3,000,000</u>	<u>-</u>	<u>-</u>	<u>(3,000,000)</u>	<u>0%</u>
<u>NET FUND ACTIVITY</u>					
General Fund	(993,692)	(737,453)	(1,045,899)	(52,207)	
Sewer Fund	(103,479)	305,931	590,908	694,387	
Debt Service Fund	(156,427)	(1,430,342)	(1,123,029)	(966,602)	
Capital Improvement Program Fund	(314,601)	(66,653)	(67,120)	247,481	
Lottery Fund	(325,978)	60,078	110,822	436,800	
Economic Development Fund	(136,949)	-	4	136,953	
Off Street Parking Fund	(479,016)	(533,145)	(585,920)	(106,904)	
Redevelopment Fund	(3,092,118)	166,085	329,436	3,421,554	
Police Academy	1,487	(8,682)	62,215	60,728	
TIF 1A	-	-	-	-	
TIF 1B	-	-	-	-	
Sewer Reserve Fund	737,567	784	1,484	(736,083)	
Qualified Sinking Fund	450,625	65	124	(450,501)	
Net Activity	<u>S (4,412,581)</u>	<u>(2,243,332)</u>	<u>(1,726,977)</u>	<u>2,685,604</u>	
	-	-	-	-	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

	Total All Funds				
	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
FUND BALANCE	<u>As of FYE 9/30/04</u>		<u>As of 11/30/2019</u>	<u>Variance</u>	<u>Notes</u>
General Fund	4,688,168		5,889,657	1,201,489	
Sewer Fund	978,985		1,688,601	709,616	
Debt Service Fund	2,354,279		2,669,153	314,874	
Capital Improvement Program Fund	(41,847)		(42,937)	(1,090)	
Lottery Fund	2,900,404		3,621,473	721,069	
Economic Development Fund	70,019		7,047	(62,972)	
Off Street Parking Fund	234,504		646,141	411,637	
Redevelopment Fund	2,416,093		6,048,944	3,632,851	
Police Academy	26,360		88,600	62,240	
TIF 1A	(3,420)		5,523	8,943	
TIF 1B	(19,136)		(19,136)	(0)	
Sewer Reserve Fund	1,944,692		1,211,218	(733,474)	
Qualified Sinking Fund	551,125		100,840	(450,285)	
Net Fund Balance	16,100,226	-	21,915,124	5,814,898	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

General Fund

	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
REVENUES					
Property Taxes	\$ 8,673,516	\$ 63,196	148,951	\$ (8,524,565)	2%
Sales and use taxes	4,691,663	414,023	820,699	(3,870,964)	17%
Payments in Lieu of taxes	288,922	-	-	(288,922)	0%
State revenue	1,958,268	154,662	347,184	(1,611,084)	18%
Occupation and franchise taxes	883,900	8,465	52,447	(831,453)	6%
Hotel Occupation Tax	1,017,550	92,638	250,230	(767,320)	25%
Licenses and permits	440,250	28,881	70,640	(369,610)	16%
Interest income	28,708	6,523	10,777	(17,931)	38%
Recreation fees	172,710	9,350	37,734	(134,976)	22%
Special Services	19,500	2,407	4,652	(14,848)	24%
Grant Income	150,575	2,652	12,165	(138,410)	8%
Other	943,213	68,103	105,845	(837,368)	11%
Total Revenues	<u>19,268,775</u>	<u>850,899</u>	<u>1,861,323</u>	<u>(17,407,452)</u>	<u>10%</u>
EXPENDITURES					
Administrative Services	555,523	59,094	100,072	(455,451)	18%
Mayor and Council	258,001	22,544	49,299	(208,702)	19%
Boards & Commissions	10,544	857	946	(9,598)	9%
Public Buildings & Grounds	666,644	33,293	56,447	(610,197)	8%
Administration	814,815	76,042	133,585	(681,230)	16%
Police and Animal Control	5,316,825	585,052	960,335	(4,356,490)	18%
Fire	2,181,863	179,124	358,785	(1,823,078)	16%
Community Development	687,211	58,200	95,252	(591,959)	14%
Public Works	3,982,560	299,977	578,835	(3,403,725)	15%
Recreation	887,273	61,223	106,610	(780,663)	12%
Library	908,468	81,709	144,432	(764,036)	16%
Information Technology	289,745	27,528	38,875	(250,870)	13%
Human Resources	1,023,722	56,091	104,049	(919,673)	10%
Public Transportation	109,385	8,960	14,524	(94,861)	13%
Finance	489,213	38,658	60,658	(428,555)	12%
Capital outlay	750,807	-	16,287	(734,520)	2%
Total Expenditures	<u>18,932,599</u>	<u>1,588,352</u>	<u>2,818,992</u>	<u>(16,113,607)</u>	<u>15%</u>
REVENUES NET OF EXPENDITURES	<u>336,176</u>	<u>(737,453)</u>	<u>(957,668)</u>	<u>(1,293,844)</u>	
OTHER FINANCING SOURCES (USES)					
Operating transfers in (Lottery)	100,293	-	-	(100,293)	0%
Operating transfers out (DSF, OSP, CIP)	(1,430,161)	-	(88,231)	1,341,930	6%
Total other Financing Sources (Uses)	<u>(1,329,868)</u>	<u>-</u>	<u>(88,231)</u>	<u>1,241,637</u>	
NET FUND ACTIVITY	<u>\$ (993,692)</u>	<u>\$ (737,453)</u>	<u>\$ (1,045,899.1)</u>	<u>\$ (52,207)</u>	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-PROPRIETARY FUNDS
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Sewer Fund

	<u>Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>(Under) Budget</u>	<u>% of Budget Used</u>
REVENUES					
User fees	\$ 4,277,805	\$ 372,202	723,881	\$ (3,553,924)	17%
Service charge and hook-up fees	128,210	1,122	6,892	(121,318)	5%
Miscellaneous	18	3	26	8	
Total Revenues	<u>4,406,033</u>	<u>373,327</u>	<u>730,799</u>	<u>(3,675,234)</u>	<u>17%</u>
EXPENDITURES					
Personnel Services	581,719	56,650	110,164	(471,555)	19%
Commodities	39,200	1,042	6,558	(32,642)	17%
Contract Services	2,989,841	9,036	15,137	(2,974,704)	1%
Maintenance	38,584	784	5,015	(33,569)	13%
Other	228	80	80	(148)	35%
Storm Water Grant	54,540	-	-	(54,540)	0%
Capital Outlay	33,829	-	3,637	(30,192)	11%
Total Expenditures	<u>3,737,941</u>	<u>67,590</u>	<u>140,591</u>	<u>(3,597,350)</u>	<u>4%</u>
OPERATING INCOME (LOSS)	<u>668,092</u>	<u>305,737</u>	<u>590,208</u>	<u>(77,884)</u>	Note 1
NON-OPERATING REVENUE (EXPENSE)					
Interest income	4,059	796	1,889	(2,170)	47%
	<u>4,059</u>	<u>796</u>	<u>1,889</u>	<u>(2,170)</u>	<u>47%</u>
INCOME (LOSS) BEFORE					
OPERATING TRANSFERS	<u>672,151</u>	<u>306,533</u>	<u>592,097</u>	<u>(80,054)</u>	
OTHER FINANCING SOURCES (USES)					
Operating transfers in (Lottery Events)	3,000	-	-	(3,000)	0%
Operating transfers out (CIP)	(728,630)	-	-	728,630	0%
Capital Improvement	(50,000)	(601)	(1,189)	48,811	2%
Total other Financing Sources (Uses)	<u>(775,630)</u>	<u>(601)</u>	<u>(1,189)</u>	<u>774,441</u>	<u>0%</u>
NET INCOME (LOSS)	\$ <u>(103,479)</u>	\$ <u>305,931</u>	\$ <u>590,908</u>	\$ <u>694,387</u>	

Note 1: Restatement of Operating Income Variance

Operating Income Variance	590,208
City of Omaha billing in arrears -1 months	(480,000)
Adjusted Operating Income Variance	<u>110,208</u>

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

	Debt Service Fund				% of Budget Used
	Budget	MTD Actual	YTD Actual	Over(under) Budget	
<u>REVENUES</u>					
Property Taxes	\$ 1,004,487	\$ 2,327	7,395	\$ (997,092)	1%
Sales and use taxes	2,345,832	207,012	410,349	(1,935,483)	17%
Payments in Lieu of taxes	93,506	-	-	(93,506)	0%
Other (Special Assessments; Fire Reimbursmt)	581,714	42,222	84,741	(496,973)	15%
Interest income	11,937	4,086	7,714	(4,223)	65%
Total Revenues	4,037,476	255,647	510,200	(3,527,276)	13%
<u>EXPENDITURES</u>					
Administration	12,834	23	77	(12,757)	1%
Fire Contract Bond	121,611	10,008	20,016	(101,595)	16%
Debt service					
Principal	2,605,000	1,545,000	1,545,000	(1,060,000)	59%
Interest	414,237	130,958	156,267	(257,970)	38%
Total Expenditures	3,153,682	1,685,989	1,721,360	(1,432,322)	55%
<u>REVENUES NET OF EXPENDITURES</u>	883,794	(1,430,342)	(1,211,160)	(2,094,954)	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (GF Hwy Alloc)	214,782	-	88,131	(126,651)	41%
Operating transfers out (CIP, OSP)	(1,255,003)	-	-	1,255,003	0%
Total other Financing Sources (Uses)	(1,040,221)	-	88,131	1,128,352	
<u>NET FUND ACTIVITY</u>	\$ (156,427)	\$ (1,430,342)	\$ (1,123,029)	\$ (966,602)	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

	Capital Fund				% of Budget Used
	Budget	MTD Actual	YTD Actual	Over(under) Budget	
<u>REVENUES</u>					
Interest income	\$ 22,411	\$ -	\$ -	\$ (22,411)	0%
Grant Income	-	-	-	-	0%
Special Assessment	-	-	-	-	0%
Interagency	-	-	-	-	0%
Total Revenues	22,411	-	-	(22,411)	0%
<u>EXPENDITURES</u>					
Other	-	-	-	-	0%
Total Expenditures	-	-	-	-	0%
<u>REVENUES NET OF EXPENDITURES</u>	22,411	-	-	(22,411)	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (GF, DSF)	1,142,500	-	-	(1,142,500)	0%
Operating transfers out (DSF)	-	-	-	-	0%
Bond/registered warrant proceeds	8,500,000	-	-	(8,500,000)	0%
Capital outlay	(9,979,512)	(66,653)	(67,120)	9,912,392	1%
Total other Financing Sources (Uses)	(337,012)	(66,653)	(67,120)	269,892	20%
<u>NET FUND ACTIVITY</u>	\$ (314,601)	\$ (66,653)	\$ (67,120)	\$ 247,481	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Lottery Fund

	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>					
Lottery Rev/Community Betterment	\$ 850,000	\$ 62,610	121,925	\$ (728,075)	14%
Lottery Tax Form 51	340,000	25,044	48,728	(291,272)	14%
Event Revenue	-	-	-	-	0%
Interest income	16,420	2,854	5,923	(10,497)	36%
Miscellaneous / Other	-	-	-	-	0%
Total Revenues	<u>1,206,420</u>	<u>90,508</u>	<u>176,576</u>	<u>(1,029,844)</u>	<u>15%</u>
<u>EXPENDITURES</u>					
Professional Services	219,149	1,821	3,387	(215,762)	2%
Salute to Summer	33,693	-	-	(33,693)	0%
Community Events	11,613	2,661	3,120	(8,493)	27%
Events - Marketing	29,734	905	1,222	(28,512)	4%
Recreation Events	4,642	-	139	(4,503)	3%
Concert & Movie Nights	11,145	-	158	(10,987)	1%
City Anniversary Celebration	50,000	-	9,000	(41,000)	18%
Travel & Training	-	-	-	-	0%
State Taxes	350,000	25,044	48,728	(301,272)	14%
Other	100	-	-	(100)	0%
Capital outlay	-	-	-	-	0%
Total Expenditures	<u>710,076</u>	<u>30,430</u>	<u>65,754</u>	<u>(644,322)</u>	<u>9%</u>
<u>REVENUES NET OF EXPENDITURES</u>	<u>496,344</u>	<u>60,078</u>	<u>110,822</u>	<u>(385,522)</u>	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	-	-	-	-	
Operating transfers out (GF, SF, DSF)	(822,322)	-	-	822,322	0%
Total other Financing Sources (Uses)	<u>(822,322)</u>	<u>-</u>	<u>-</u>	<u>822,322</u>	<u>0%</u>
<u>NET FUND ACTIVITY</u>	<u>\$ (325,978)</u>	<u>\$ 60,078</u>	<u>\$ 110,822</u>	<u>\$ 436,800</u>	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Economic Development

	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>					
Other Income	\$ -	-	-	-	
Interest income	517	-	4	(513)	
Total Revenues	<u>517</u>	<u>-</u>	<u>4</u>	<u>(513)</u>	
<u>EXPENDITURES</u>					
Professional Services	75,000	-	-	(75,000)	0%
Debt service: (Warrants)					0%
Principal	-	-	-	-	0%
Interest	62,466	-	-	(62,466)	0%
Total Expenditures	<u>137,466</u>	<u>-</u>	<u>-</u>	<u>(137,466)</u>	<u>0%</u>
<u>REVENUES NET OF EXPENDITURES</u>	<u>(136,949)</u>	<u>-</u>	<u>4</u>	<u>136,953</u>	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (GF, DSF)	-	-	-	-	0%
Operating transfers out	-	-	-	-	0%
Bond/registered warrant proceeds	3,000,000	-	-	(3,000,000)	0%
Community Development - Grant	(3,000,000)	-	-	3,000,000	0%
Total other Financing Sources (Uses)	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>0%</u>
<u>NET FUND ACTIVITY</u>	<u>\$ (136,949)</u>	<u>\$ -</u>	<u>\$ 4</u>	<u>\$ 136,953</u>	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Off Street Parking

	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>					
Interest income	\$ 771	2,196	3,146	2,375	408%
Other Income	115,000	9	11	(114,989)	0%
Total Revenues	<u>115,771</u>	<u>2,205</u>	<u>3,157</u>	<u>(112,614)</u>	<u>3%</u>
<u>EXPENDITURES</u>					
General & Administrative	220,518	2,289	2,979	(217,539)	1%
Professional Services	76,500	-	-	(76,500)	0%
Maintenance	48,769	2,779	2,863	(45,906)	6%
Debt service: (Warrants)					
Principal	685,000	495,000	495,000	(190,000)	72%
Interest	210,911	30,358	30,358	(180,554)	14%
Total Expenditures	<u>1,241,698</u>	<u>530,425</u>	<u>531,199</u>	<u>(710,499)</u>	<u>43%</u>
<u>REVENUES NET OF EXPENDITURES</u>	<u>(1,125,927)</u>	<u>(528,220)</u>	<u>(528,042)</u>	<u>597,885</u>	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (GF, DSF, RDF)	1,396,911	-	100	(1,396,811)	0%
Operating transfers out		-	-		0%
Bond/registered warrant proceeds	-	-	-	-	0%
Capital Improvement	(750,000)	(4,925)	(57,979)	692,021	8%
Total other Financing Sources (Uses)	<u>646,911</u>	<u>(4,925)</u>	<u>(57,879)</u>	<u>(704,790)</u>	<u>-9%</u>
<u>NET FUND ACTIVITY</u>	<u>\$ (479,016)</u>	<u>\$ (533,145)</u>	<u>\$ (585,920)</u>	<u>\$ (106,904)</u>	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

	Redevelopment Fund				
	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>					
Sales and use taxes	\$ 2,345,832	207,012	410,349	(1,935,483)	17%
Franchise Fee & Occupation Tax	29,485	-	-	(29,485)	0%
Interest income	66,252	5,872	9,709	(56,543)	15%
Total Revenues	<u>2,441,569</u>	<u>212,884</u>	<u>420,058</u>	<u>(2,021,511)</u>	<u>17%</u>
<u>EXPENDITURES</u>					
Community Development	-	-	-	-	0%
Professional Services	200,000	-	-	(200,000)	0%
Financial / Legal Fees	100,500	19,794	33,368	(67,132)	33%
Debt service: (Warrants)				-	0%
Principal	505,000	-	-	(505,000)	0%
Interest	728,187	-	-	(728,187)	0%
Total Expenditures	<u>1,533,687</u>	<u>19,794</u>	<u>33,368</u>	<u>(1,500,319)</u>	<u>2%</u>
<u>REVENUES NET OF EXPENDITURES</u>	<u>907,882</u>	<u>193,089</u>	<u>386,690</u>	<u>(521,192)</u>	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	200,000	-	-	(200,000)	0%
Operating transfers out (OSP)	-	-	-	-	0%
Bond/registered warrant proceeds	6,500,000	-	-	(6,500,000)	0%
Capital Improvement	(10,700,000)	(27,004)	(57,254)	10,642,746	1%
Total other Financing Sources (Uses)	<u>(4,000,000)</u>	<u>(27,004)</u>	<u>(57,254)</u>	<u>3,942,746</u>	
<u>NET FUND ACTIVITY</u>	<u>\$ (3,092,118)</u>	<u>\$ 166,085</u>	<u>\$ 329,436</u>	<u>\$ 3,421,554</u>	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Police Academy Fund

	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of budget</u> <u>Used</u>
<u>REVENUES</u>					
Other Income	\$ 100,000	-	80,000	(20,000)	80%
Interest income	83	-	29	(54)	35%
Total Revenues	<u>100,083</u>	<u>-</u>	<u>80,029</u>	<u>(20,054)</u>	<u>80%</u>
<u>EXPENDITURES</u>					
Personnel Services	79,672	8,547	14,573	(65,099)	18%
Commodities	3,535	-	225	(3,310)	6%
Contract Services	11,854	135	2,686	(9,168)	23%
Other Charges	3,535	-	330	(3,205)	9%
Total Expenditures	<u>98,596</u>	<u>8,682</u>	<u>17,814</u>	<u>(80,782)</u>	<u>18%</u>
<u>REVENUES NET OF EXPENDITURES</u>	<u>1,487</u>	<u>(8,682)</u>	<u>62,215</u>	<u>60,728</u>	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (GF)	-	-	-	-	0%
Operating transfers out	-	-	-	-	0%
Total other Financing Sources (Uses)	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	
<u>NET FUND ACTIVITY</u>	<u>\$ 1,487</u>	<u>\$ (8,682)</u>	<u>\$ 62,215</u>	<u>\$ 60,728</u>	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

	TIF 1A				
	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>					
Property Tax	\$ 541,612	-	-	(541,612)	0%
Interest income	-	-	-	-	0%
Total Revenues	541,612	-	-	(541,612)	0%
<u>EXPENDITURES</u>					
Other	-	-	-	-	0%
Contract Services	5,416	-	-	(5,416)	0%
Debt service: (Warrants)					
Principal	313,710	-	-	(313,710)	0%
Interest	222,486	-	-	(222,486)	0%
Total Expenditures	541,612	-	-	(541,612)	0%
<u>REVENUES NET OF EXPENDITURES</u>					
	-	-	-	-	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	-	-	-	-	0%
Operating transfers out	-	-	-	-	0%
Total other Financing Sources (Uses)	-	-	-	-	
<u>NET FUND ACTIVITY</u>					
	\$ -	\$ -	\$ -	\$ -	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

	TIF 1B				
	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>					
Property Tax	\$			-	0%
Interest income				-	0%
Total Revenues	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>0%</u>
<u>EXPENDITURES</u>					
Other	-	-	-	-	0%
Contract Services	-	-	-	-	0%
Total Expenditures	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	
<u>REVENUES NET OF EXPENDITURES</u>					
	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in				-	0%
Operating transfers out	-	-	-	-	0%
Total other Financing Sources (Uses)	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	
<u>NET FUND ACTIVITY</u>					
	\$ <u>-</u>	\$ <u>-</u>	\$ <u>-</u>	\$ <u>-</u>	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

Sewer Reserve Fund

	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>					
Interest income	\$ 8,937	784	1,484	(7,453)	17%
Total Revenues	<u>8,937</u>	<u>784</u>	<u>1,484</u>	<u>(7,453)</u>	<u>17%</u>
<u>EXPENDITURES</u>					
Other	-	-	-	-	0%
Total Expenditures	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>REVENUES NET OF EXPENDITURES</u>	<u>8,937</u>	<u>784</u>	<u>1,484</u>	<u>(7,453)</u>	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	728,630	-	-	(728,630)	0%
Operating transfers out	-	-	-	-	0%
Total other Financing Sources (Uses)	<u>728,630</u>	<u>-</u>	<u>-</u>	<u>(728,630)</u>	
<u>NET FUND ACTIVITY</u>	\$ <u>737,567</u>	\$ <u>784</u>	\$ <u>1,484</u>	\$ <u>(736,083)</u>	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the two months ending November 30, 2019
17% of the Fiscal Year 2020

		Qualified Sinking Fund				
		<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>						
Interest income	\$	625	65	124	(501)	20%
Total Revenues		625	65	124	(501)	20%
<u>EXPENDITURES</u>						
Other		-	-	-	-	0%
Total Expenditures		-	-	-	-	-
<u>REVENUES NET OF EXPENDITURES</u>		625	65	124	(501)	
<u>OTHER FINANCING SOURCES (USES)</u>						
Operating transfers in		450,000	-	-	(450,000)	0%
Operating transfers out		-	-	-	-	0%
Total other Financing Sources (Uses)		450,000	-	-	(450,000)	
<u>NET FUND ACTIVITY</u>		\$ 450,625	\$ 65	\$ 124	\$ (450,501)	



A6

Invoice

Date: November 13, 2019
Invoice #: 11235

To: Rita Ramirez/Brenda Gunn
City of La Vista

Job	Payment Terms	Due Date
Mixed-Use Study	Due upon receipt	

Qty	Description	Unit Price	Line Total
1.00	Economic Work	\$ 4,500.00	\$ 4,500.00
		-	\$ -
		-	-

Subtotal \$ 4,500.00
 Sales Tax
 Total \$ 4,500.00

16.53.0303
 R. Ramirez
 1-16-20

Make all checks payable to Hunden Strategic Partners
 213 W. Institute Place, Suite 707 Chicago, IL 60610

Consent Agenda 1/21/2020
 (RW)

MIDWEST

Right of Way Services, Inc.

A-7

www.midwestrow.com

January 3, 2020

John Kottman, City Engineer
City of La Vista
8116 Park View Boulevard
La Vista, Nebraska 68128

Invoice No.: 5418
Midwest Right of Way Services #539
Services in connection with the
City of La Vista - 120th & Giles - Total Acquisition

Total Contract \$ -
Amount Previously Invoiced \$ 3,266.42

For the period of October 19, 2019 through December 13, 2019

Project Manager 4.50 hours at \$95 per hour \$ 427.50
Acquisition Agent - hours at \$85 per hour \$ -
Miles - miles \$0.58 per mile \$ -

Total Amount Due for this Invoice: \$ 427.50

Total Remaining on Contract (after this invoice) \$ -

Past Due Invoices:

Total Amount for Past Due Invoices: \$ -

TOTAL AMOUNT CURRENTLY DUE: \$ 427.50

For questions regarding this invoice, please call JohnBorgmeyer at 402-955-2900.

OK TO PAID
PMD 1/15/2020

05.71.0917.000 - STRT 16002

Consent Agenda 1/21/2020
(RW)



Thompson, Dreesen & Dorner, Inc.
Consulting Engineers & Land Surveyors

Please remit to:
TD2 Nebraska Office
10836 Old Mill Road, Omaha, NE 68154
Office: 402/330-8860 Fax: 402/330-5866

TD2 South Dakota Office
5000 S. Minnesota Ave., Ste. 300, Sioux Falls, SD 57108
Office: 605/951-0886

CITY OF LA VISTA
PAT DOWSE
9900 PORTAL ROAD
LA VISTA, NE 68128

Invoice number 135164
Date 12/26/2019

Project 0171-417 LA VISTA PHASE 1 GOLF
COURSE TRANSFORMATION -
PROPOSED LAKE IMPROVEMENTS

Professional Services from November 11, 2019 through December 08, 2019

PO #20-008354

Description	Contract Amount	Prior Billed	Remaining	Current Billed
Interface Area Topographic Survey	6,700.00	6,700.00	0.00	0.00
Construction Staking - Sanitary Sewer Relocation Phase 2	3,000.00	3,000.00	0.00	0.00
Construction Staking - Trail Phase 2	5,000.00	4,882.55	117.45	0.00
Pre-Construction "As-Built" Survey Phase 2	7,500.00	3,602.50	3,897.50	0.00
Post Construction "As-Built Survey Phase 2	7,500.00	0.00	7,500.00	0.00
Construction Administration - Sanitary Sewer Relocation Ph 2	7,500.00	7,457.65	42.35	0.00
Meetings	8,000.00	6,198.00	1,802.00	0.00
Construction Testing - Sanitary Sewer Relocation Phase 2	25,000.00	23,524.69	1,475.31	0.00
Construction Testing - Trail Phase 2	15,000.00	14,990.07	9.93	0.00
Erosion Control Monitoring and Reporting Services	9,000.00	6,409.40	1,957.95	632.65
3D Video Update Phase 2	5,500.00	5,229.39	270.61	0.00
Total	99,700.00	81,994.25	17,073.10	632.65

Invoice total 632.65

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
135164	12/26/2019	632.65	632.65				
	Total	632.65	632.65	0.00	0.00	0.00	0.00

OK to Pay
PMD 1/6/2020
PO# 20-008354

Terms Net 30 Days. A Finance Charge of 1 1/2% Per Month (18% per Annum) Will Be Charged on Past Due Accounts. Also Liable for all Legal and Collection Fees. Invoices not paid within 90 days of the invoice date will be subject to possible lien filings.

Consent Agenda 1/21/2020
(Signature)

A-9

waters edge
AQUATIC DESIGN
 11205 W 79th St. Lenexa, KS 66214
 913-438-4338 -- wedesignpools.com

Water's Edge Aquatic Design, LLC

Invoice

Date	Invoice #
1/6/2020	4143

Bill To
Brenda Gunn, City Administrator Scott Stopak, Project Manager

Terms	Due Date	Rep
Net 30	2/5/2020	JAB

Description	Est Amt	Prior Amt	Prior %	Curr %	Total %	Amount
LaVista, NE #18-540-B - Planning Phase - Public Input -PO# 19-008103	12,000.00	12,000.00	100.00%	0.00%	100.00%	0.00
Site Confirmation/Concept Plan	26,250.00	13,125.00	50.00%	25.00%	75.00%	6,562.50
Cost Estimating	5,750.00			50.00%	50.00%	2,875.00
Expense Allowance	3,000.00	480.00	16.00%	0.00%	16.00%	0.00

PO# 19-008103
Net Due 1/9/20

Total	\$9,437.50
Payments/Credits	\$0.00
Balance Due	\$9,437.50

Phone #	Fax #	E-mail	Web Site
913-438-4338	913-438-1465	cschwartz@wedesignpools.com	www.wedesignpools.com

Consent Agenda 1/21/2020
(12)

User: mgustafson

DB: La Vista

Check #	Check Date	Vendor Name	Amount	Voided
131450	01/09/2020	BERRY DUNN	2,800.00	N
131451	01/09/2020	DLR GROUP	1,349.28	N
131452	01/09/2020	OLSSON, INC.	42,545.50	N
131453	01/09/2020	OMAHA PUBLIC POWER DISTRICT	733.16	N
131454	01/09/2020	THOMPSON DREESSEN & DORNER, IN	2,618.50	N
131455	01/21/2020	ACTION BATTERIES UNLTD INC	192.77	N
131456	01/21/2020	AMAZON CAPITAL SERVICES, INC.	305.99	N
131457	01/21/2020	ASP ENTERPRISES INC	87.04	N
131458	01/21/2020	AWARDS AND MORE COMPANY	52.78	N
131459	01/21/2020	BABER, BRAD	274.50	N
131460	01/21/2020	BISHOP BUSINESS EQUIPMENT COMPA	1,643.12	N
131461	01/21/2020	BKD LLP	4,140.00	N
131462	01/21/2020	BLUE 360 MEDIA, LLC	2,425.90	N
131463	01/21/2020	BODY BASICS INC	202.80	N
131464	01/21/2020	BOOT BARN	118.99	N
131465	01/21/2020	CAPSTONE	768.01	N
131466	01/21/2020	CENTER POINT, INC.	44.34	N
131467	01/21/2020	CENTURY LINK	664.81	N
131468	01/21/2020	CINTAS CORPORTATION	277.95	N
131469	01/21/2020	CITY OF OMAHA	204,130.76	N
131470	01/21/2020	COLE, JOE	400.00	N
131471	01/21/2020	CORNHUSKER INTL TRUCKS INC	31.41	N
131472	01/21/2020	COX COMMUNICATIONS, INC.	277.40	N
131473	01/21/2020	CULLIGAN OF OMAHA	96.00	N
131474	01/21/2020	DATASHIELD CORPORATION	80.00	N
131475	01/21/2020	DOUGLAS COUNTY SHERIFF'S OFC	200.00	N
131476	01/21/2020	EDGEWEAR SCREEN PRINTING	269.60	N
131477	01/21/2020	FBG SERVICE CORPORATION	5,965.00	N
131478	01/21/2020	FIRST NATIONAL BANK FREMONT	5,000.00	N
131479	01/21/2020	FIRST WIRELESS INC	277.40	N
131480	01/21/2020	GALE	164.18	N
131481	01/21/2020	GENERAL FIRE & SAFETY EQUIP CO	870.50	N
131482	01/21/2020	GRAINGER	143.20	N
131483	01/21/2020	GREATAMERICA FINANCIAL SERVICES	1,352.40	N
131484	01/21/2020	HALLETT AUTO BODY INC.	2,803.60	N
131485	01/21/2020	INGRAM LIBRARY SERVICES	1,477.23	N
131486	01/21/2020	KANOPIY, INC.	84.00	N
131487	01/21/2020	LEAGUE OF NEBRASKA MUNICIPALITIE	377.00	N
131488	01/21/2020	LIBRA INDUSTRIES INC	270.00	N
131489	01/21/2020	MARK A KLINKER	200.00	N
131490	01/21/2020	MENARDS-RALSTON	177.61	N
131491	01/21/2020	METRO AREA TRANSIT	739.00	N
131492	01/21/2020	MIDWEST TAPE	119.97	N
131493	01/21/2020	MIDWEST TURF & IRRIGATION	11,400.00	N
131494	01/21/2020	NEWSBANK	370.00	N
131495	01/21/2020	NMC EXCHANGE LLC	110.64	N
131496	01/21/2020	NORTH STAR DESTINATION STRATEGIE	662.77	N
131497	01/21/2020	O'REILLY AUTO PARTS	663.43	N
131498	01/21/2020	OFFICE DEPOT INC	591.86	N
131499	01/21/2020	OMAHA PUBLIC POWER DISTRICT	40,814.62	N
131500	01/21/2020	OMAHA SLINGS INCORPORATED	60.39	N
131501	01/21/2020	OMAHA WORLD-HERALD	364.00	N
131502	01/21/2020	OMNI ENGINEERING	365.85	N
131503	01/21/2020	ONE CALL CONCEPTS INC	153.05	N
131504	01/21/2020	PAPILLION LA VISTA PUBLIC SCHOOLS	1,537.50	N
131505	01/21/2020	PAPILLION SANITATION	2,633.77	N
131506	01/21/2020	PAPILLION TIRE INCORPORATED	346.55	N
131507	01/21/2020	PLAINS EQUIPMENT GROUP	114.11	N
131508	01/21/2020	RED WING BUSINESS ADVANTAGE ACC	150.00	N
131509	01/21/2020	ROURKE EDUCATIONAL MEDIA	910.55	N

User: mgustafson

DB: La Vista

Check #	Check Date	Vendor Name	Amount	Voided
131510	01/21/2020	SARPY COUNTY FISCAL ADMINSTRTN	28,315.60	N
131511	01/21/2020	SARPY DOUGLAS LAW ENFORCE. ACAD	20,000.00	N
131512	01/21/2020	SHI INTERNATIONAL CORP.	24,149.71	N
131513	01/21/2020	SIGN IT	385.00	N
131514	01/21/2020	SINNETT, JEFF	274.50	N
131515	01/21/2020	SOUTHERN UNIFORM & EQUIPMENT	338.46	N
131516	01/21/2020	SUBURBAN NEWSPAPERS INC	400.12	N
131517	01/21/2020	TOSHIBA FINANCIAL SERVICES	138.00	N
131518	01/21/2020	TRANS UNION RISK AND ALT. DATA S	50.00	N
131519	01/21/2020	U.S. CELLULAR	1,605.59	N
131520	01/21/2020	UNIVERSITY OF LOUISVILLE	1,190.00	N
131521	01/21/2020	VIERREGGER ELECTRIC COMPANY	343.00	N
131522	01/21/2020	WALMART COMMUNITY BRC	1,819.81	N
131523	01/21/2020	WESTLAKE HARDWARE INC NE-022	1,150.63	N
131524	01/21/2020	WESTLAKE HARDWARE INC NE-022	48.81	N
131525	01/21/2020	WHITE CAP CONSTR SUPPLY/HDS	77.88	N
131526	01/21/2020	WINTER EQUIPMENT COMPANY INC	3,572.80	N
131527	01/21/2020	WORLD TRADE PRESS	781.10	N
TOTAL:			432,641.80	

APPROVED BY COUNCIL MEMBERS ON: 01/21/2020

COUNCIL MEMBER

User: mgustafson

DB: La Vista

Check #	Check Date	Vendor Name	Amount	Voided
881(E)	12/04/2019	ELAN FINANCIAL SERVICES	12,833.54	N
887(E)	12/31/2019	AMERICAN HERITAGE LIFE INSURANCE	1,455.09	N
888(E)	12/31/2019	BLUE CROSS BLUE SHIELD OF NEBR	108,395.30	N
889(E)	12/31/2019	CCAP AUTO LEASE LTD	1,231.24	N
890(E)	12/31/2019	DEARBORN NATIONAL LIFE INSURANC	1,271.00	N
891(E)	12/31/2019	DEARBORN NATIONAL LIFE INSURANC	5,203.27	N
892(E)	12/31/2019	ESSENTIAL SCREENS	293.00	N
893(E)	12/31/2019	LINCOLN NATIONAL LIFE INS CO	6,334.62	N
894(E)	12/31/2019	MID-AMERICAN BENEFITS INC	700.00	N
895(E)	12/31/2019	NE DEPT OF REVENUE-SALES TAX	38.17	N
896(E)	12/31/2019	TASC	787.50	N
897(E)	12/31/2019	TASC	3,040.58	N
898(E)	12/31/2019	TASC	3,043.92	N
899(E)	12/31/2019	TOSHIBA FINANCIAL SERVICES	254.80	N
900(E)	12/31/2019	TSYS	11.74	N
901(E)	12/31/2019	UNITED HEALTHCARE INSURANCE CO	893.58	N
TOTAL:			145,787.35	

APPROVED BY COUNCIL MEMBERS ON: 01/21/2020

COUNCIL MEMBER

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
JANUARY 21, 2020 AGENDA**

Subject:	Type:	Submitted By:
CONDITIONAL USE PERMIT – CASEY’S RETAIL COMPANY – LOT 3 HARRISON HILLS (118 TH & HARRISON ST)	◆ RESOLUTION ORDINANCE RECEIVE/FILE	CALE BRODERSEN ASSISTANT PLANNER

SYNOPSIS

A public hearing has been scheduled and resolution prepared for Council to consider an application for a Conditional Use Permit to operate a convenience store with limited fuel sales on Lot 3, Harrison Hills, generally located southeast of the intersection of 118th Street and Harrison Street.

FISCAL IMPACT

N/A.

RECOMMENDATION

Approval.

BACKGROUND

A public hearing has been scheduled to consider an application submitted by Casey’s Retail Company for a Conditional Use Permit, to locate and operate a convenience store with limited fuel sales on Lot 3, Harrison Hills. The property is zoned C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District). A convenience store with limited fuel sales is listed in the C-3 District as a conditional use. The applicant proposes to construct an approximately 4,000 sq. ft. Casey’s store and gas station on the 1.52-acre lot.

A detailed staff report is attached.

The Planning Commission held a public hearing on December 12, 2019, and unanimously voted to recommend approval of the Conditional Use Permit, contingent upon substantial completion of the Design Review Process, as the request is consistent with the Comprehensive Plan and the Zoning Ordinance.

RESOLUTION NO.

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE EXECUTION OF A CONDITIONAL USE PERMIT FOR CASEY'S RETAIL COMPANY TO OPERATE A CONVENIENCE STORE WITH LIMITED FUEL SALES ON LOT 3, HARRISON HILLS.

WHEREAS, Casey's Retail Company has applied for approval of a conditional use permit for a convenience store with limited fuel sales on Lot 3, Harrison Hills, located southeast of the intersection of 118th Street and Harrison Street; and

WHEREAS, the La Vista Planning Commission has reviewed the application and recommends approval; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit for such purposes;

NOW THEREFORE, BE IT RESOLVED, that the Mayor and City Council of the City of La Vista hereby authorize the execution of a Conditional Use Permit in form and content submitted at this meeting, with such modifications that the City Administrator or City Attorney may determine necessary or advisable, for Casey's Retail Company to allow for a convenience store with limited fuel sales on Lot 3, Harrison Hills.

PASSED AND APPROVED THIS 21ST DAY OF JANUARY, 2020.

CITY OF LA VISTA

ATTEST:

Douglas Kindig, Mayor

Pamela A. Buethe, CMC
City Clerk



CITY OF LA VISTA
PLANNING DIVISION

PCUP 19-0004

RECOMMENDATION REPORT

CASE NUMBER: PCUP 19-0004

FOR HEARING OF: January 21, 2020
REPORT PREPARED ON: January 14, 2020

I. **GENERAL INFORMATION**

A. **APPLICANT:**

Casey's Retail Company
Katie DeRouchey
One SE Convenience Blvd
Ankeny, IA 50021

B. **PROPERTY OWNER:**

Harrison I-80 LLC
10855 W Dodge Road
Omaha, NE 68154

C. **LOCATION:** 11728 Emiline Street

D. **LEGAL DESCRIPTION:** Lot 3 Harrison Hills

E. **REQUESTED ACTION(S):** Conditional Use Permit to operate a convenience store with limited fuel sales.

F. **EXISTING ZONING AND LAND USE:**

C-3 Highway Commercial/Office Park District, Gateway Corridor Overlay (Overlay District); the property is vacant.

G. **PROPOSED USES:** The Conditional Use Permit (CUP) will allow the applicant to operate a convenience store with limited fuel sales.

H. **SIZE OF SITE:** 1.52 acres

II. **BACKGROUND INFORMATION**

A. **EXISTING CONDITION OF SITE:** The property is vacant. The topography of the property is relatively flat with a gradual downward slope to the west.

B. **GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

1. **North:** Tax Lot 17 17-14-12; Vacant; I-1 Light Industrial District, Gateway Corridor District (Overlay District)

2. **East:** Lot 4 Harrison Hills; Vacant; C-3 Highway Commercial/Office Park District, Gateway Corridor Overlay (Overlay District).
3. **South:** Lot 1 Harrison Hills; Proposed Streck industrial campus; I-1 Light Industrial District, PUD, Gateway Corridor Overlay (Overlay District)
4. **West:** Lot 2 Harrison Hills; Restaurant Depot; C-3 Highway Commercial/Office Park District, PUD, Gateway Corridor Overlay (Overlay District)

C. RELEVANT CASE HISTORY:

N/A

D. APPLICABLE REGULATIONS:

1. Section 5.12 of the Zoning Regulations – C-3 Highway Commercial/Office Park District
2. Section 5.17 of the Zoning Regulations – Gateway Corridor District (Overlay District)
3. Article 6 of the Zoning Regulations – Conditional Use Permits

III. ANALYSIS

A. COMPREHENSIVE PLAN:

1. The Future Land Use Map of the Comprehensive Plan currently designates this property for commercial uses.

B. OTHER PLANS: N/A

C. TRAFFIC AND ACCESS:

1. Access will be from a right-in/right-out along 118th Street and a full access point onto Emiline Street.
2. Due to anticipated traffic impacts detailed within the Traffic Impact Analysis dated October 2019 provided by Lamp Rynearson to analyze the combined impacts of the proposed Casey's and Streck's proposed development on Lot 1 Harrison Hills to the south, traffic signal improvements to the existing signal at 118th Street and Harrison Street may be required by the City of Omaha. Prior to the issuance of a Certificate of Occupancy, Casey's will be required to make any signal improvements required by the City of Omaha.

The Traffic Impact Analysis demonstrates that the unsignalized intersection of 115th/116th Street and Harrison Street is not anticipated to warrant the need for a traffic signal in any scenario. Full recommendations are available in the attached Traffic Impact Analysis dated October 2019.

- D. UTILITIES:** All utilities are available to the site.
- E. PARKING REQUIREMENTS:** The parking requirements would follow the minimum needed for this use within Section 7.06 of the zoning ordinance. Based on the size of the facility, 29 parking spaces would be required. The site plan depicts 29 parking stalls, two of which are handicap accessible, including spaces adjacent to fuel pumps that are allowed within the overall count as per the Zoning Ordinance Section 7.06.
- F. LANDSCAPING:** The landscaping plan has been reviewed as per the Gateway Corridor District design guidelines. Comments regarding the landscaping plan are stated within the design review letter from the City's Design Review Architect attached to this report, and they have been addressed. The landscaping plan has been approved and is attached to the CUP in Exhibit C.
- G. BUILDING DESIGN:** The building design has been reviewed as part of the design review process that is required for developments within the Gateway Corridor District (Overlay District). The overall design review process has been substantially completed and will be required to be fully completed prior to issuance of building permits.

IV. REVIEW COMMENTS:

1. The Conditional Use Permit specifically requires the proposed use to be limited to the operations described within the Operational Statement (Exhibit B).
2. A post-construction storm water management plan will be required at the time of building permit application.

V. STAFF RECOMMENDATION – CONDITIONAL USE PERMIT:

Staff recommends approval of the Conditional Use Permit, as the CUP request is consistent with the Comprehensive Plan and the Zoning Ordinance.

VI. PLANNING COMMISSION RECOMMENDATION – CUP

The Planning Commission held a public hearing on December 12, 2019 and voted unanimously to recommend approval of the Conditional Use Permit, contingent on substantial completion of the design review process, as the CUP request is consistent with the Comprehensive Plan and the Zoning Ordinance.

VII. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Draft CUP & Exhibits

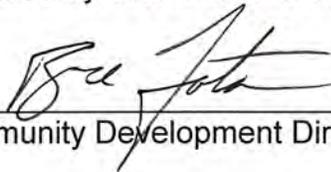
3. Review Letters
4. Design Review Letter

VIII. COPIES OF REPORT TO:

1. Katie DeRouchey, Casey's Retail Company
2. Rob DuVall, Schemmer
3. Public Upon Request

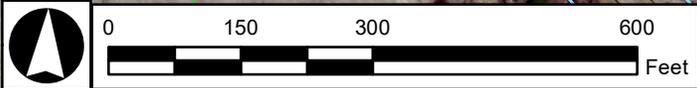
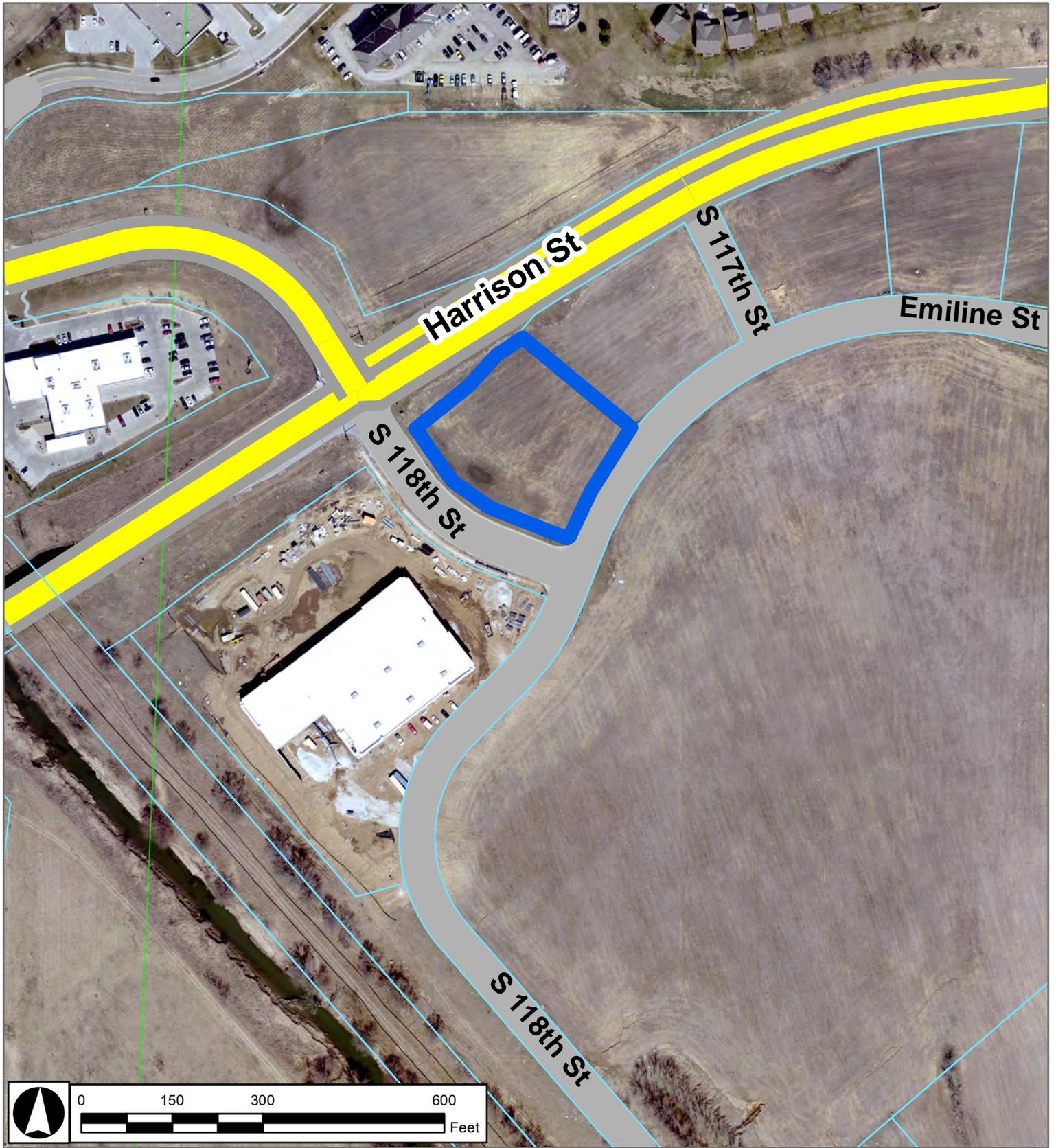


Prepared by: Assistant Planner

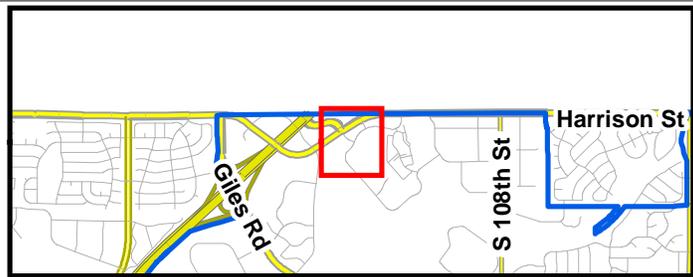


Community Development Director

1/14/2020
Date



Project Vicinity Map



**Casey's - Conditional Use Permit
Lot 3 Harrison Hills**

12/6/2019
CB



City of La Vista Conditional Use Permit

Conditional Use Permit for Convenience Store with Limited Fuel Sales

This Conditional Use Permit issued this ___ day of _____, 2020, by the City of La Vista, a municipal corporation in the County of Sarpy County, Nebraska (“City”) to, Casey’s Retail Company (“Owner”), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to construct and operate a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales) upon the following described tract of land within the City of La Vista zoning jurisdiction:

Lot 3, Harrison Hills, La Vista, Nebraska.

WHEREAS, Owner has applied for a conditional use permit for the purpose of constructing and operating a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales); and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit to Owner for such purposes, subject to certain conditions and agreements as hereinafter provided.

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this conditional use permit is issued to the Owner to use the area designated on Exhibit “A” hereto for a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales), said uses hereinafter being referred to as “Permitted Use” or “Use”.

Conditions of Permit

The conditions to which the granting of this permit is subject are:

1. The rights or obligations granted or imposed by this permit shall run with the land, are transferable, and shall be binding on any successors or assigns. Any deviation from or breach of any terms hereof shall automatically cause permit to expire and terminate.
2. In respect to the proposed Permitted Use:
 - a. The premises shall be developed and maintained in accordance with the CUP Plan Set (“Exhibit C”) as presented to the City Council on January 21, 2020 and incorporated herein by this reference. Any modifications must be submitted to the La Vista Planning Department for approval.
 - b. Hours of operation for convenience store will be 24 hours a day, seven days a week.
 - c. There shall be no storage, placement or display of goods, supplies or any other material, substance, container or receptacle outside of the convenience store, except as approved in writing by the City.
 - d. Due to anticipated traffic impacts detailed within the Traffic Impact Analysis (Exhibit D), traffic signal improvements to the existing signal at 118th Street and Harrison Street may be required by the City of Omaha. Prior to the issuance of a Certificate of Occupancy,

Casey's will be required to make any signal improvements required by the City of Omaha.

- e. The City acknowledges that the Use will involve the construction, placement and maintenance of underground motor fuel storage tanks and gasoline dispensing pumps (permitted structures) on the premises. The structures shall be constructed, maintained and operated in a safe and responsible manner, and in accordance with any applicable laws, rules or regulations, including, but not limited to, applicable environmental or safety laws, as amended or in effect from time to time, and shall not cause, or create risk of injury or damage to, or loss of life, property or the environment. The owner shall make annual inspections of the premises and structures, and the operation thereof for any hazard or risk, including, but not limited to, those of an environmental or safety nature. The owner shall take immediate action to protect persons, property and the environment from any damage, injury or loss, or risk thereof, arising out of or resulting from any hazard or risk on the premises, including, but not limited to, hazard or risk involving the permitted structures, that is discovered or should be discovered (including, but not limited to, those of an environmental or safety nature) and to abate any hazard or risk and remove it from the premises in accordance with any applicable laws, rules or regulations, as amended or in effect from time to time.
 - f. Owner shall obtain all required permits, including without limitation all required permits of the City of La Vista, and shall comply with any additional requirements as determined by the La Vista Planning Department or other applicable authorities.
 - g. Owner shall comply (and shall ensure that all employees, invitees, suppliers, structures, appurtenances and improvements, and all activities occurring or conducted, on the premises at any time comply) with any applicable federal, state and/or local laws, rules, or regulations, as amended or in effect from time to time, including, but not limited to, applicable environmental or safety laws, rules or regulations.
 - h. Owner hereby indemnifies the city against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the Owner, or any agents, employees, assigns, suppliers or invitees of Owner, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violation on the premises of any environmental or safety law, rule or regulation.
3. In respect to the Gateway Corridor Design Guidelines design criteria:
- a. Building Exterior
 - i. The convenience store shall be constructed and maintained in accordance with the CUP Plan Set (Exhibit C).
 - b. Trash Enclosure
 - i. The three sides of the trash enclosures shall be constructed of the same brick as used on the building. Gate material on the fourth side shall be of material approved by the City.
 - c. Exterior Light Fixtures
 - i. Any exterior pole-mounted light fixtures used on this project shall match the approved light fixture provided within the Gateway Corridor Design Guidelines.
 - ii. All exterior light fixtures must be submitted for approval.
 - d. Landscaping
 - i. Site landscaping shall be installed and maintained in accordance with the landscaping plan provided within the CUP Plan Set (Exhibit C).
 - e. Signage
 - i. All signs shall comply with the City's sign regulations and meet the requirements

of the Gateway Corridor Design Guidelines.

4. The applicant's right to maintain the Use as approved pursuant to these provisions shall be based on the following:
 - a. An annual inspection to determine compliance with the conditions of approval. The conditional use permit may be revoked upon a finding by the City that there is a violation of the terms of approval.
 - b. The Use authorized by the conditional use permit must be initiated within one (1) year of approval and shall become void two (2) years after the date of approval unless the applicant has fully complied with the terms of approval.
 - c. All obsolete or unused structures and accessory facilities and any remaining environmental or safety hazard shall be abated and/or removed at owner's expense within the time required by applicable law or regulations, and in all cases no later than twelve (12) months of cessation of the Permitted Use.
5. Notwithstanding any other provision herein to the contrary, this Permit, and all rights granted hereby, shall expire and terminate as to a permitted use hereunder upon the first of the following to occur:
 - a. Owner's abandonment of the Permitted Use. Non-use thereof for a period of twelve (12) months shall constitute a presumption of abandonment.
 - b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Conditional Use.
 - c. Owner's construction or placement of a storage tank, structure or other improvement on the premises not specified in this permit.
 - d. Owner's breach of any other terms hereof and his failure to correct such breach within ten (10) days of City's giving notice thereof.
6. If the Permitted Use is not commenced within one (1) year from January 21, 2020, this Permit shall be null and void and all rights hereunder shall lapse, without prejudice to Owner's right to file for an extension of time pursuant to Section 6.04 of the La Vista Zoning Ordinance.
7. In the event of the owner's failure to promptly remove any safety or environmental hazard from the premises, or the expiration or termination of this permit and the owner's failure to promptly remove the permitted structures or any remaining environmental or safety hazard, the City may, at its option (but without any obligation to the owner or any third party to exercise said option) cause the same to be removed at owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable) and the Owner shall reimburse the city the costs incurred to remove the same. Owner irrevocably grants to City permission to assess, impose and file with the Sarpy County Register of Deeds against the property a lien for any such costs that are not paid within 30 days. Owner hereby irrevocably grants the City, its agents and employees an easement and the right to enter the premises and to take whatever action as is necessary or appropriate to remove the structures or any environmental or safety hazards in accordance with the terms of this permit, and the right of the City to enter the premises as necessary or appropriate to carry out any other provision of this permit.
8. If any provision, or any portion thereof, contained in this agreement is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

Miscellaneous

The conditions and terms of this Permit shall be binding upon Owner, his successors and assigns.

1. Delay of City to terminate this Permit on account of breach of Owner of any of the terms hereof shall not constitute a waiver of City's right to terminate, unless it shall have expressly waived said breach in writing and a waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.
2. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this permit.
3. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed to the Owner as follows:

Contact Name and Address: Katie DeRouchey
Casey's Retail Company
One SE Convenience Blvd
Ankeny, IA 50021

Effective Date:

This Permit shall take effect upon the filing hereof with the City Clerk a signed original hereof.

THE CITY OF LA VISTA

By _____
Douglas Kindig, Mayor

Attest:

Pam Buehe, CMC
City Clerk
CONSENT AND AGREEMENT

The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by Owner to be performed or discharged.

Owner:

By: _____

Title: _____

Date: _____

ACKNOWLEDGMENT OF NOTARY

STATE OF NEBRASKA)
) ss.
COUNTY OF _____)

On this ____ day of _____, 2020, before me, a Notary Public duly commissioned and qualified in and for said County and State, appeared Douglas Kindig and Pamela A. Buehe, personally known by me to be the Mayor and City Clerk of the City of La Vista, and the identical persons whose names are affixed to the foregoing Agreement, and acknowledged the execution thereof to be their voluntary act and deed and the voluntary act and deed of said City.

Notary Public

ACKNOWLEDGMENT OF NOTARY

STATE OF KANSAS)
) ss.
COUNTY OF _____)

On this ____ day of _____, 2020, before me, a Notary Public duly commissioned and qualified in and for said County and State, appeared [_____] , personally known by me to be the _____ of Casey’s Retail Company, and the identical person whose name is affixed to the foregoing Agreement, and acknowledged the execution thereof to be his voluntary act and deed and the voluntary act and deed of said company.

Notary Public

LOT THREE (3) HARRISON HILLS, A SUBDIVISION LOCATED IN SECTION 17, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA.

FIRM FLOOD INSURANCE RATE MAP
 SARPY COUNTY, NEBRASKA
 AND INCORPORATED AREAS

City of La Vista
 Extrajurisdictional Jurisdiction
 \$10192

Westhoff Creek
 Zone X
 Zone AE

NOTE: IN WITHIN TOWNSHIP

LEGEND

1. FIRM FLOOD INSURANCE RATE MAP

2. FIRM FLOOD INSURANCE RATE MAP

3. FIRM FLOOD INSURANCE RATE MAP

4. FIRM FLOOD INSURANCE RATE MAP

5. FIRM FLOOD INSURANCE RATE MAP

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95. FIRM FLOOD INSURANCE RATE MAP

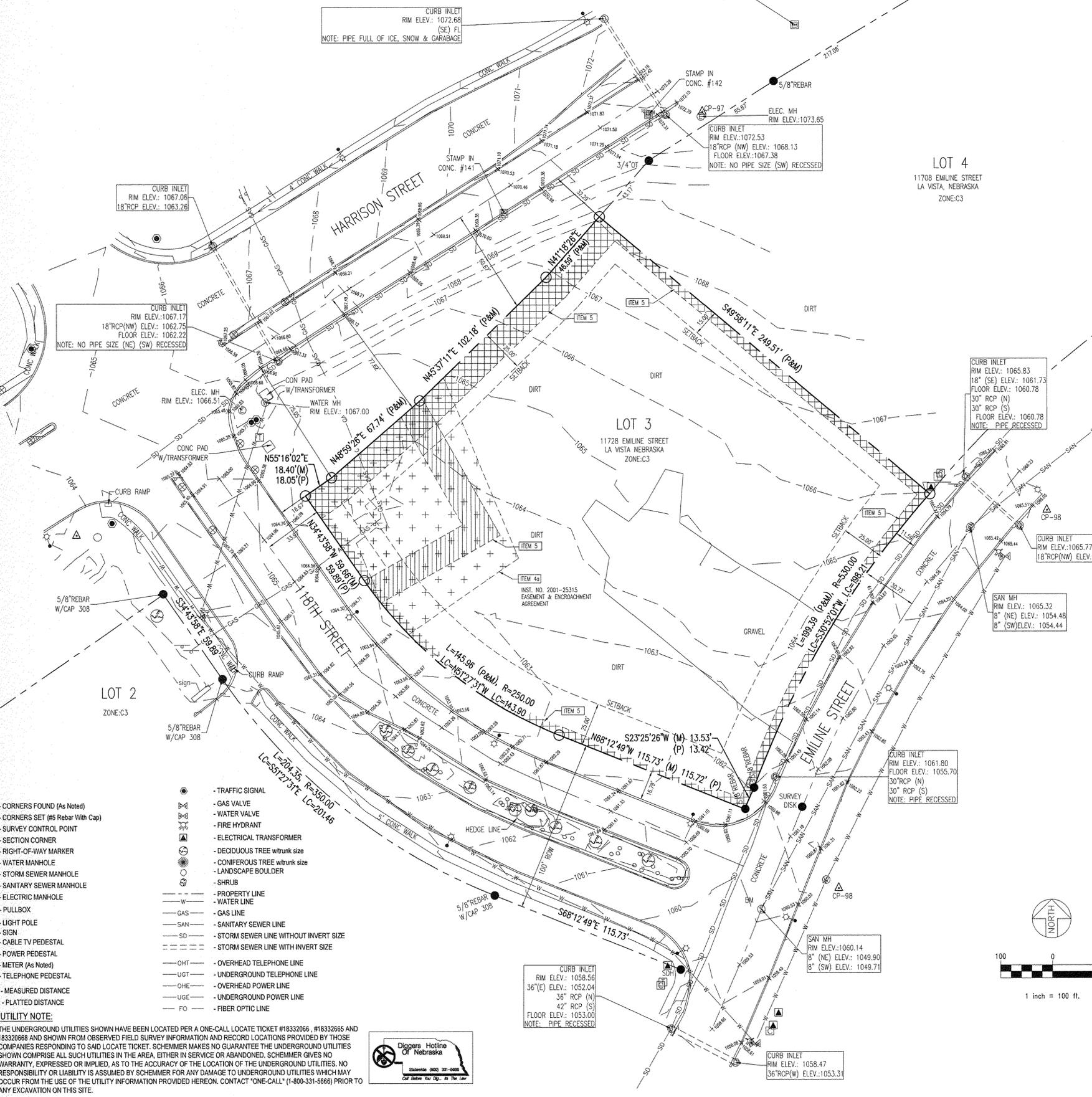
96. FIRM FLOOD INSURANCE RATE MAP

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99. FIRM FLOOD INSURANCE RATE MAP

100. FIRM FLOOD INSURANCE RATE MAP



FLOOD ZONE:
 SUBJECT PROPERTY IS IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 311520053A, EFFECTIVE DATE: MAY 03, 2010.

ZONING:
 C3, HIGHWAY COMMERCIAL / OFFICE PARK DISTRICT
 MINIMUM YARD REQUIREMENTS
 FRONT YARD: 25' ONLY WHEN PARKING IS PRESENT IN THE FRONT YARD. IF PARKING IS LOCATED IN THE FRONT YARD THEN FRONT YARD SETBACK IS A MINIMUM OF 50 FEET.
 SIDE YARD: 15'
 REAR YARD: 15'
 HEIGHT: 90' ANY BUILDING WITHIN 100 FEET OF A RESIDENTIALLY ZONED DISTRICT SHALL NOT EXCEED 45' IN HEIGHT. (ORDINANCE NO. 1082, 11-18-08)

NOTE:
 THE REFERENCE SYSTEM USED FOR HORIZONTAL CONTROL IS DOUGLAS/SARPY LOW DISTORTION PROJECT. THE REFERENCE SYSTEM USED FOR VERTICAL CONTROL IS NAVD 1988.
 BENCHMARK: SANITARY MANHOLE AT THE INTERSECTION OF 118TH STREET AND EMILINE STREET RIM ELEVATION: 1060.14
 SUBJECT PROPERTY AREA: 64924.92 SQUARE FEET OR 1.49 ACRES.
 ALL CURB AND GUTTER ARE CONCRETE UNLESS OTHERWISE STATED.
 SPEED LIMITS: HARRISON 45MPH, 118TH STREET 25MPH, & EMILINE STREET 25MPH.

SPECIAL EXCEPTIONS AS CONTAINED IN TITLE COMMITMENT FILE NO. 35161C-18 EFFECTIVE DATE: NOVEMBER 09, 2018, 8:00AM, SUPPLIED BY OLD REPUBLIC TITLE INSURANCE COMPANY:

ITEMS 1-3 ARE NON SURVEY ITEMS.

ITEM 4: EASEMENTS DATED TO SCONY-VACUUM OIL COMPANY, INCORPORATED, ITS SUCCESSORS OR ASSIGNS, AS SET FORTH IN THE RIGHT OF WAY AGREEMENT, DATED FEBRUARY 27, 1941 AND RECORDED MARCH 11, 1941 IN BOOK 10 AT PAGE 455 OF THE RECORDS OF SARPY COUNTY, NEBRASKA, AFFECTING A PORTION OF SUBJECT PROPERTY AS DESCRIBED THEREIN.

(a) TERMS AND PROVISIONS OF MODIFICATION OF EASEMENT AND ENCROACHMENT AGREEMENT, DATED AUGUST 15, 2000, AND RECORDED AUGUST 10, 2001 AS INSTRUMENT NO. 2001-25315 OF THE RECORDS OF SARPY COUNTY, NEBRASKA, BY AND BETWEEN WILLIAMS PIPELINE COMPANY, A DELAWARE CORPORATION AND HARRISON I-80 LLC, A NEBRASKA LIMITED LIABILITY COMPANY, CONCERNING THE EASEMENT RECORDED IN BOOK 10 AT PAGE 455, RELOCATING A PORTION OF THE PIPELINES AND DEFINING AN "EASEMENT STRIP", RESERVING UNTO WILLIAMS PIPELINE COMPANY THE RIGHT OF INGRESS AND EGRESS AND THE RIGHT TO USE TEMPORARY WORK SPACE AS DESIRED, ON, OVER, AND ACROSS OWNER'S LAND, AND COVENANTS AND RESTRICTIONS CONTAINED THEREIN. (AFFECTS SUBJECT PROPERTY)

ITEM 5: EASEMENTS GRANTED BY PLAT AND DEDICATION OF HARRISON HILLS RECORDED APRIL 13, 2000 AT INSTRUMENT NUMBER 200008289 OF THE RECORDS OF SARPY COUNTY, NE, IN FAVOR OF OMAHA PUBLIC POWER DISTRICT, U.S. WEST COMMUNICATIONS, INC. AND ANY COMPANY WHICH HAS BEEN GRANTED A FRANCHISE PROVIDE A CABLE TELEVISION SYSTEM IN THE AREA TO BE SUBDIVIDED, THEIR SUCCESSORS AND/OR ASSIGNS, FOR INSTALLATION AND MAINTENANCE OF UTILITY FACILITIES ON, OVER, THROUGH, UNDER AND ACROSS A 5 FOOT WIDE STRIP OF LAND ADJOINING ALL FRONT AND SIDE BOUNDARY LINES; AN 8 FOOT WIDE STRIP OF LAND ADJOINING ALL REAR BOUNDARY LINES OF INTERIOR LOTS; AND A 16 FOOT WIDE STRIP OF LAND ADJOINING THE REAR BOUNDARY LINES OF ALL EXTERIOR LOTS. PERPETUAL EASEMENT GRANTED TO METROPOLITAN UTILITIES DISTRICT OF OMAHA AND PEOPLE'S NATURAL GAS COMPANY, THEIR SUCCESSORS AND ASSIGNS, TO ERECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND RENEW, PIPELINES, HYDRANTS, AND OTHER RELATED FACILITIES TO EXTEND THEREON PIPES FOR THE TRANSMISSION OF GAS AND WATER ON, THROUGH, UNDER AND ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ADJOINING ALL CUL DE SACS.

(a) PLAT NOTES STATE THAT THERE SHALL BE NO DIRECT VEHICULAR ACCESS ONTO HARRISON STREET OVER THE NORTHERLY LINES OF LOTS 2 THROUGH 7 INCLUSIVE. (AFFECTS SUBJECT PROPERTY)

ITEM 6: NOT SURVEY ITEM

LOT DESCRIPTION:
 LOT 3, HARRISON HILLS, A SUBDIVISION LOCATED IN SECTION 17, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M. SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 3 HARRISON HILLS, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET AND THE EAST RIGHT-OF-WAY LINE OF 118TH STREET; THENCE NORTHWEST ALONG THE NORTH PROPERTY LINE OF SAID LOT 3 HARRISON HILLS SAID LINE ALSO BEING SAID SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET, ON THE FOLLOWING DESCRIBED COURSES: THENCE N45°02'E, A DISTANCE OF 18.40 FEET; THENCE N45°29'26"E, A DISTANCE OF 67.74 FEET; THENCE N45°37'11"E, A DISTANCE OF 102.18 FEET; THENCE N41°18'26"E, A DISTANCE OF 46.59 FEET TO THE NORTHEAST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING SAID SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET, SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID LOT 4, HARRISON HILLS; THENCE S49°58'11"E, ALONG THE EAST LINE OF SAID LOT 3, HARRISON HILLS, SAID LINE ALSO BEING THE WEST LINE OF SAID LOT 4, HARRISON HILLS, A DISTANCE OF 249.51 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 4, HARRISON HILLS, SAID POINT ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF EMILINE STREET; THENCE SOUTHWESTERLY ALONG THE SOUTH PROPERTY LINE OF SAID LOT 3, HARRISON HILLS, SAID LINE ALSO BEING SAID NORTH RIGHT-OF-WAY LINE OF EMILINE STREET ON THE FOLLOWING DESCRIBED COURSES: THENCE SOUTHWESTERLY ON A CURVE TO THE LEFT WITH A RADIUS OF 530.00 FEET, A DISTANCE OF 199.39 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S30°20'11"W, A DISTANCE OF 198.21 FEET; THENCE S23°25'26"W, A DISTANCE OF 13.53 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING AT THE INTERSECTION OF SAID NORTH RIGHT-OF-WAY LINE OF EMILINE STREET AND SAID EAST RIGHT-OF-WAY LINE OF 118TH STREET; THENCE NORTHWESTERLY ALONG SAID WEST PROPERTY LINE OF LOT 3 HARRISON HILLS SAID LINE ALSO BEING SAID EAST RIGHT-OF-WAY LINE OF 118TH STREET, ALONG THE FOLLOWING DESCRIBED COURSES: THENCE N82°12'49"W, A DISTANCE OF 115.73 FEET; THENCE NORTHWESTERLY ON A CURVE TO THE RIGHT WITH A RADIUS OF 250.00 FEET, A DISTANCE OF 145.96 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N51°27'31"W, A DISTANCE OF 143.90 FEET; THENCE N34°43'58"W, A DISTANCE OF 59.66 FEET, TO THE POINT OF BEGINNING.
 SAID LOT HAS AN AREA OF 64924.92 SQUARE FEET, OR 1.49 ACRES MORE OR LESS

LEGAL DESCRIPTION AS CONTAINED IN TITLE COMMITMENT FILE NO. 35161C-18 EFFECTIVE DATE: NOVEMBER 09, 2018, 8:00AM, SUPPLIED BY OLD REPUBLIC TITLE INSURANCE COMPANY:
 LOT THREE (3) HARRISON HILLS, A SUBDIVISION TO THE CITY OF OMAHA, AS SURVEYED, PLATED AND RECORDED, IN THE RECORDS OF SARPY COUNTY, NEBRASKA.

LAND SURVEYORS CERTIFICATION:
 TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND CASEY'S RETAIL COMPANY, AN IOWA CORPORATION.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 6b, 8, 11, 13, 14, 17, AND 19 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS, AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF NEBRASKA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

ANTHONY L. BRUCKNER, RLS 696

12-14-2018

- LEGEND**
- - CORNERS FOUND (As Noted)
 - - CORNERS SET (#5 Rebar With Cap)
 - △ - SURVEY CONTROL POINT
 - ⊙ - SECTION CORNER
 - ⊕ - RIGHT-OF-WAY MARKER
 - ⊗ - WATER MANHOLE
 - ⊙ - STORM SEWER MANHOLE
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊙ - ELECTRIC MANHOLE
 - ⊙ - PULLBOX
 - ⊙ - LIGHT POLE
 - ⊙ - SIGN
 - ⊙ - CABLE TV PEDESTAL
 - ⊙ - POWER PEDESTAL
 - ⊙ - METER (As Noted)
 - ⊙ - TELEPHONE PEDESTAL
 - (M) - MEASURED DISTANCE
 - (P) - PLATTED DISTANCE
- ⊙ - TRAFFIC SIGNAL
 - ⊙ - GAS VALVE
 - ⊙ - WATER VALVE
 - ⊙ - FIRE HYDRANT
 - ⊙ - ELECTRICAL TRANSFORMER
 - ⊙ - DECIDUOUS TREE w/trunk size
 - ⊙ - CONIFEROUS TREE w/trunk size
 - ⊙ - LANDSCAPE BOULDER
 - ⊙ - SHRUB
 - ⊙ - PROPERTY LINE
 - ⊙ - WATER LINE
 - ⊙ - GAS LINE
 - ⊙ - SANITARY SEWER LINE
 - ⊙ - STORM SEWER LINE WITHOUT INVERT SIZE
 - ⊙ - STORM SEWER LINE WITH INVERT SIZE
 - ⊙ - OVERHEAD TELEPHONE LINE
 - ⊙ - UNDERGROUND TELEPHONE LINE
 - ⊙ - OVERHEAD POWER LINE
 - ⊙ - UNDERGROUND POWER LINE
 - ⊙ - FIBER OPTIC LINE
- UTILITY NOTE:**
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED PER A ONE-CALL LOCATE TICKET #18332066, #18332666 AND 18332068 AND SHOWN FROM OBSERVED FIELD SURVEY INFORMATION AND RECORD LOCATIONS PROVIDED BY THOSE COMPANIES RESPONDING TO SAID LOCATE TICKET. SCHEMMER MAKES NO GUARANTEE THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SCHEMMER GIVES NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE ACCURACY OF THE LOCATION OF THE UNDERGROUND UTILITIES. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SCHEMMER FOR ANY DAMAGE TO UNDERGROUND UTILITIES WHICH MAY OCCUR FROM THE USE OF THE UTILITY INFORMATION PROVIDED HEREON. CONTACT "ONE-CALL" (1-800-331-5666) PRIOR TO ANY EXCAVATION ON THIS SITE.
- Diggers Hotline of Nebraska
 1-800-331-5666
 Call Before You Dig - 811

DESIGNED: _____ DATE BY: JAPP REUSONS

DRAWN: _____

CHECKED: _____

BOOK: 717 DATE: 12/14/2018

SCHEMMER
 Design with Purpose. Build with Confidence.

CASEY'S RETAIL COMPANY
 LOT 3 HARRISON HILLS
 LA VISTA, NEBRASKA

ALTA/NSPS LAND TITLE SURVEY

JOB NO. 06754.044

SHEET 1 of 1

Casey's Retail Company
Project Narrative

Casey's Retail Company is proposing the construction of a convenience store with gasoline sales in LaVista, Nebraska, located at 11728 Emiline Street. The proposed development would include a one-story building consisting of 5,980 square feet, 6 double-sided fuel pumps, a 24' x 154' canopy over the fuel pumps, and two underground fuel storage tanks. The subject property is currently zoned C-3 (Commercial/Office Park) district with a Gateway Corrido District overlay. The C-3 district allows a conditional use for convenience store with limited fuel sales and alcohol sales.

The proposed Casey's General Store will be a 24-hour store, as permitted. The store will employ 20-25 employees, both part time and full-time, and include management opportunities. There are 17 designated parking spaces, 2 of which are handicap accessible, as well as 12 available spaces at the fuel pumps.

The proposed Casey's General Store will be brick on all 4 sides and the rooftop equipment will be screened. There will be faux windows on the ends and rear of the building. The dumpster will be in brick enclosure. The proposed Casey's General Store will not have any outdoor storage.

The proposed Casey's General Store will offer the following fuel products: 87E, Diesel, 87C, 91C and E85. In addition to typical convenience items, the store will have prepared food items such as pizza, made-to-order sub sandwiches, donuts, and coffee.

Zoning Information

ZONING
 C3, HIGHWAY COMMERCIAL/ OFFICE PARK DISTRICT AND GATEWAY CORRIDOR DISTRICT (OVERLAY DISTRICT)
 MINIMUM YARD REQUIREMENTS
 FRONT YARD: 25' ONLY WHEN PARKING IS PRESENT IN THE FRONT YARD. IF PARKING IS LOCATED IN THE FRONT YARD THEN FRONT YARD SETBACK IS A MINIMUM OF 50' FEET
 SIDE YARD: 15'
 REAR YARD: 15'
 HEIGHT: 30' ANY BUILDING WITHIN 100 FEET OF A RESIDENTIALLY ZONED DISTRICT SHALL NOT EXCEED 45' IN HEIGHT. (ORDINANCE NO. 1082, 11-18-08)

NOTE:
 THE REFERENCE SYSTEM USED FOR HORIZONTAL CONTROL IS DOUGLAS/SARPY
 LOW DISTORTION PROJECT. THE REFERENCE SYSTEM USED FOR VERTICAL CONTROL IS NAVD 1888.

BENCHMARK: SANITARY MANHOLE AT THE INTERSECTION OF 118TH STREET AND EMILINE STREET RIM ELEVATION: 1060.14

SUBJECT PROPERTY AREA: 64924.92 SQUARE FEET OR 1.49 ACRES.

ALL CURB AND GUTTER ARE CONCRETE UNLESS OTHERWISE STATED.
 SPEED LIMITS: HARRISON 45MPH, 118TH STREET 25MPH, & EMILINE STREET 25MPH

U.G.S.T. Notes

- ① FILL W/SPILL CONTAINMENT & OVERSPILL PROTECTION (TYP.)
- ② TURBINE ENCLOSURE TYP. CONTAINS: SUB-PUMP W/LINE LEAK DETECTION, TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SUMP SENSOR
- ③ VENT W/SPILL CONTAINMENT & EXTRACTOR
- ④ SUMP SENSOR @ EACH DISPENSER

General Notes

1. **RELATED SHEETS:** FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY SCHEMMER ENGINEERING.

Utility Notes

- UTILITY NOTE #1: ELECTRICAL (C-STORE) ELECTRICAL SERVICE ENTRANCE. SIGN DETAILS PAGE AL-601. ELECTRIC 3 PHASE, 800 AMP, 1200 AMP, 208 VOLTS, 4 WIRE, TELEPHONE 20 PAIR, 8 LINES.
- UTILITY NOTE #2: GAS (C-STORE) 1.5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION. CONNECTION LOAD IS 680 MBH. TOTAL CONNECTED LOAD IS 680,000 BTU/H. CLIFT. HR. HOUSE PRESSURE IS 7" W.C.
- UTILITY NOTE #3: SANITARY SEWER (C-STORE) 6" SCHEDULE 40 PVC SANITARY SEWER CONNECTION.
- UTILITY NOTE #4: SANITARY SEWER (C-STORE) 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES.
- UTILITY NOTE #5: WATER (C-STORE) 2" CTS, HDPE, SDR9 C5-200 PSI WATER SERVICE CONNECTION.

Legend

- ▲ MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- CONCRETE PAVING OR SIDEWALKS (48.057 SQ. FT.)
- AREA TO BE SOD
- ◆ AREA LIGHTS (0 SHOWN) REFER TO LIGHTING PLAN RL-7-S1 DONE BY RED LEONARD

General Construction Notes

- 1.) 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS TANKS.
- 2.) TANK 1 - 22,000 GALLON (87E)
- 3.) TANK 2 - 14,000 GALLON (DISELI)
- 4.) TANK 3 - 8,000 GALLON (87C)
- 5.) TANK 4 - 8,000 GALLON (81C)
- 6.) TANK 5 - 8,000 GALLON (E85)
- 7.) TANK SETTING DETAILS PAGE OF-301
- 8.) FILL PIPE AND MANHOLE DETAIL PAGE QF-301
- 9.) CIRCUIT BREAKER PANEL PAGE E-501
- 10.) REFRIGERATION WIRING PAGE QR-602
- 11.) GILBARCO WIRING PAGE QF-601
- 12.) GAS ISLAND SIZE - 3' x 5' W/DUAL GUARD PIPE
- 13.) GAS GILBARCO 700 S DISPENSERS
- 14.) 2" NG14 NOZZLES & 8 METERS EACH
- 15.) 4" x 1/8" NOZZLES & 8 METERS EACH
- 16.) ISLAND CONDUIT DETAIL PAGE AL-501
- 17.) ISLAND CONDUIT DETAIL PAGE E-602
- 18.) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
- 19.) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
- 20.) SIGN BASE DETAILS PAGE AL-601
- 21.) SIGN DETAILS PAGE AL-601
- 22.) DRIVEWAY JOINTS TO BE PACKED & CAULKED
- 23.) CONCRETE DRIVE TROVELED WITH LIGHT BROOM FINISH
- 24.) CONTROL JOINTS - MIN 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
- 25.) CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4
- 26.) APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC
- 27.) SLOPE MAX. 2% FOR BUILDING SIDEWALK, H.C. PARKING 1.50 ALL DIRECTIONS
- 28.) ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
- 29.) RUN VENT LINES UP SEPARATE CANOPY COLUMN, VERIFY
- 30.) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
- 31.) CANOPY FOOTING: SIZE 6'-3" LENGTH x 6'-3" WIDTH x 3'-0" DEPTH.
- 32.) CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF FC-3000 p.s.i.
- 33.) CONCRETE REINFORCING: ASTM A-615 GRADE 60.
- 34.) REBAR CAGE (8) #6 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM
- 35.) 12" MAXIMUM SPACING.
- 36.) ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF.
- 37.) A SECONDARY SHUTOFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 RADIUS.
- 38.) IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF.
- 39.) AIR COMPRESSOR BOX, MOUNTED TO STEEL POLE, INSTALLED ON 3' x 6' CONCRETE PAD
- 40.) 16" FROM BACK OF CURB 110 VOLT, 20/2.5 AMP, 8 GAUGE MINIMUM RECOMMENDED.

Keyed Construction Notes

- NOTICE:** ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF LA VISTA & NE D.O.T. APPROVAL AND SPECIFICATIONS.
- ▲ PROPOSED 20' RADIUS
 - ▲ PROPOSED 15' RADIUS
 - ▲ PROPOSED 10' RADIUS
 - ▲ TIE INTO AND MATCH EXISTING CURB & FLOW LINE
 - ▲ 2% MAX. CROSS-SLOPE IN SIDEWALK AREA.
 - ▲ DETECTABLE SIDEWALK MAT. VERIFY WITH CITY.

Legal Description

LOT DESCRIPTION
 LOT 3, HARRISON HILLS, A SUBDIVISION LOCATED IN SECTION 17, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M. SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET AND THE EAST RIGHT-OF-WAY LINE OF 118TH STREET; THENCE NORTHWEST ALONG THE NORTH PROPERTY LINE OF SAID LOT 3, HARRISON HILLS SAID LINE ALSO BEING SAID SOUTH RIGHT-OF-WAY LINE OF HARRISON STREET, ON THE FOLLOWING DESCRIBED COURSES: THENCE N55°16'02"E, A DISTANCE OF 18.40 FEET; THENCE N48°59'26"E, A DISTANCE OF 67.74 FEET; THENCE N45°37'11"E, A DISTANCE OF 102.18 FEET; THENCE N41°18'26"E, A DISTANCE OF 46.59 FEET TO THE NORTHEAST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING THE WEST LINE OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 4, HARRISON HILLS; THENCE S49°58'11"E, ALONG THE EAST LINE OF SAID LOT 3, HARRISON HILLS, SAID LINE ALSO BEING THE WEST LINE OF SAID LOT 4, HARRISON HILLS, A DISTANCE OF 249.51 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3, HARRISON HILLS, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 4, HARRISON HILLS, SAID POINT ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF EMILINE STREET ON THE FOLLOWING DESCRIBED COURSES: THENCE SOUTHWESTERLY ON A CURVE TO THE LEFT WITH A RADIUS OF 530.00 FEET, A DISTANCE OF 199.39 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S33°52'01"W, A DISTANCE OF 198.21 FEET; 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CSW-201903863

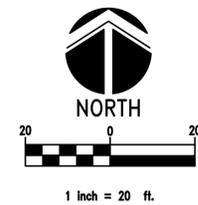
LAV-20190729-5096-T

REFERENCED CONSTRUCTION NOTES

1. SEE C-603 AND DETAILS THIS SHEET FOR ADDITIONAL INFORMATION.

LEGEND

- XX — PROPOSED CONTOUR
- - - - - EXISTING CONTOUR
- ==== PROPOSED STORM SEWER
- - - - - DRAINAGE BOUNDARY



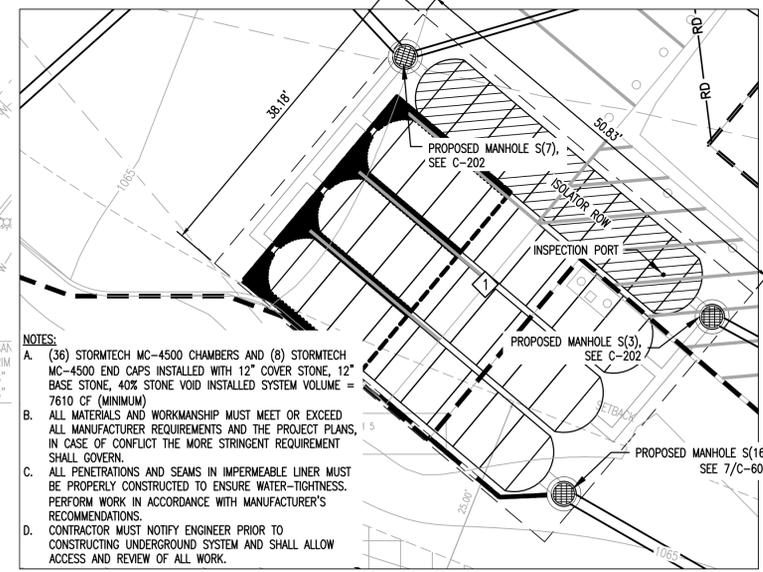
BMP CALCULATIONS

BMP ID #	TYPE	DRAINAGE AREA	EXISTING 100-YEAR RUNOFF	PROPOSED 100-YEAR RUNOFF
CS-1	ROCK CHAMBER STORAGE WITH ISOLATOR ROW	1.00 AC.	4.32 CFS	4.22 CFS

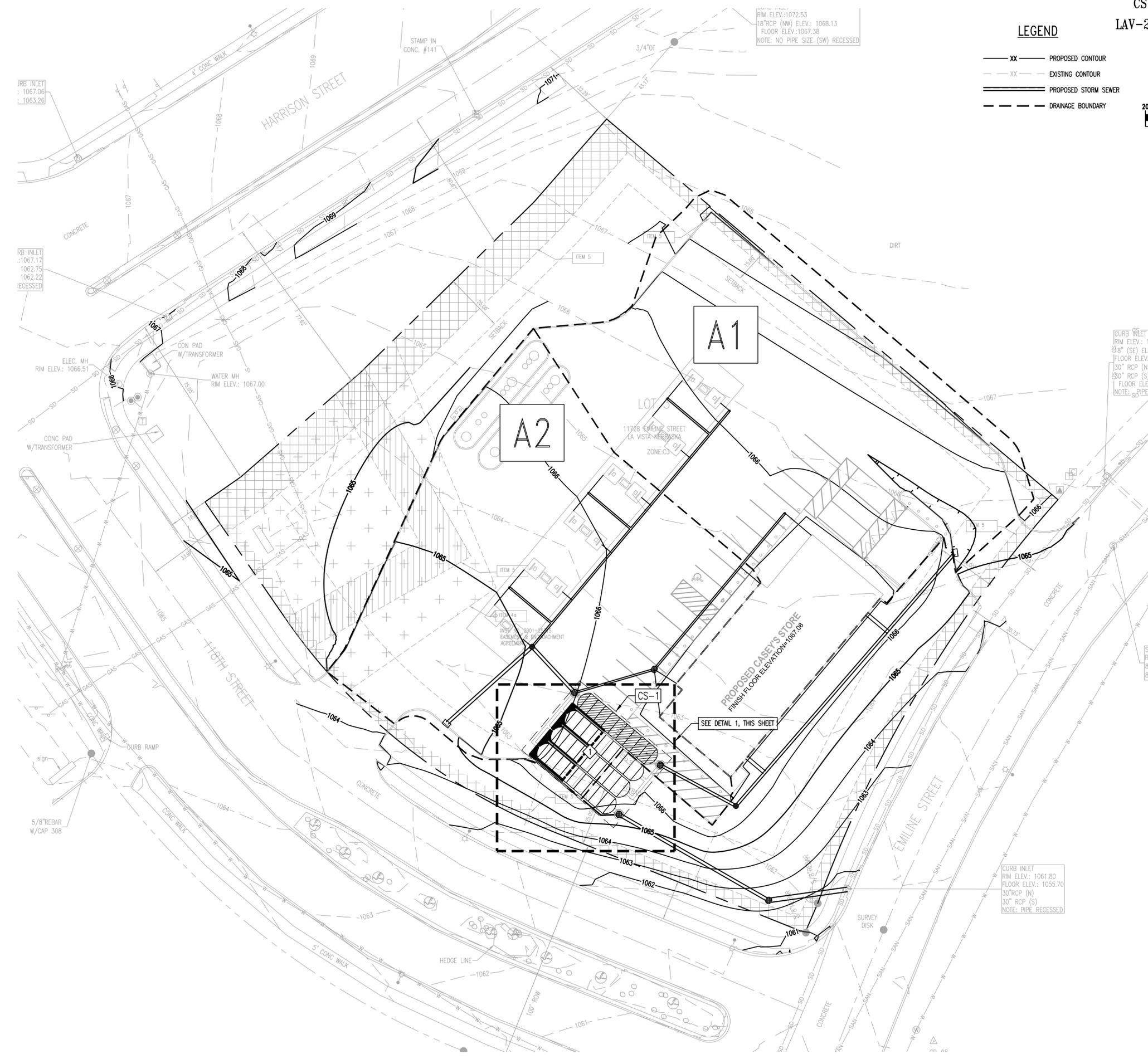
DRAINAGE AREA	PRE CONSTRUCTION		POST CONSTRUCTION	
	IMPERVIOUS	PERVIOUS	IMPERVIOUS	PERVIOUS
A1	0.07 AC.	0.48 AC.	0.53 AC.	0.02 AC.
A2	0.07 AC.	0.38 AC.	0.45 AC.	0.00 AC.

PCSMP NOTES:

- A. THE OWNER SHALL CONTROL LITTER. THIS SHALL BE DONE BY HAVING THE ADEQUATE NUMBER OF TRASH RECEPTACLES LOCATED ON SITE. THE RECEPTACLES SHALL BE EMPTIED REGULARLY OR WHEN FULL. TRASH DUMPSTERS SHALL HAVE COVERS ON THEM, AND THE COVERS SHALL REMAIN CLOSED.
- B. STREETS, PARKING LOT, AND SIDEWALK SHALL BE SWEEPED WHEN DIRT OR DUST BECOMES PRESENT. POWER WASHING OR HOISING OFF WILL NOT BE ALLOWED.
- C. ALL INLETS IN THE PAVEMENT AREAS SHALL HAVE LABELS STATING, "NO DUMPING - DRAINS TO LIVE STREAM".
- D. PERIMETER OF SITE WILL BE OBSERVED REGULARLY TO PICK UP ANY LITTER ON OWNER'S PROPERTY.



1 STORMTECH UNDERGROUND STORAGE SYSTEM CS-1 (ENLARGED PLAN)
SCALE: 1"=10'



P:\075406A_CAD\CAD\075406A-1.dwg
 11/6/2019 8:45:29 AM Schemmer, RMD

CASEY'S
GENERAL STORE

SCHEMMER
Design with Purpose. Build with Confidence.

PROJECT: CASEY'S GENERAL STORE 11728 EMILINE STREET LA VISTA, NE 68128	PUBLISHED: 07/14/2019	DRAWING INFORMATION: POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
PROJECT NUMBER: 06754.064	DESIGNER: RSS	CHECKED BY: RMD

C-203



1 West Elevation
A-201 Scale: 1/4" = 1'-0"



General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
 - RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:
AL-101: FOR BUILDING LOCATION ON SITE
AL-601: FOR INFORMATION RELATING TO SIGNAGE
A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
A-121: ROOF PLAN/ROOF TOP EQUIPMENT
A-601: DOOR & WINDOW SCHEDULES AND NOTES
S-101: FOOTINGS AND FOUNDATIONS
S-102: ROOF TRUSSES
 - WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
 - HARDIE SIDING PAINT FORMULA: SHERWIN WILLIAMS / SATIN FINISH
COLOR: CUSTOM ARNING C/N ETT TAN
BAC Blend-a-Color OZ 32 64 128
B1 Black - 1 -
N1 Raw Umber - 23 1 1
Y3 Deep Gold - 5 1 -
WHITE & PASTEL TINT BASE (1 GALLON USE)
(CUSTOM SHER-COLOR FORMULA MATCH)
5. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



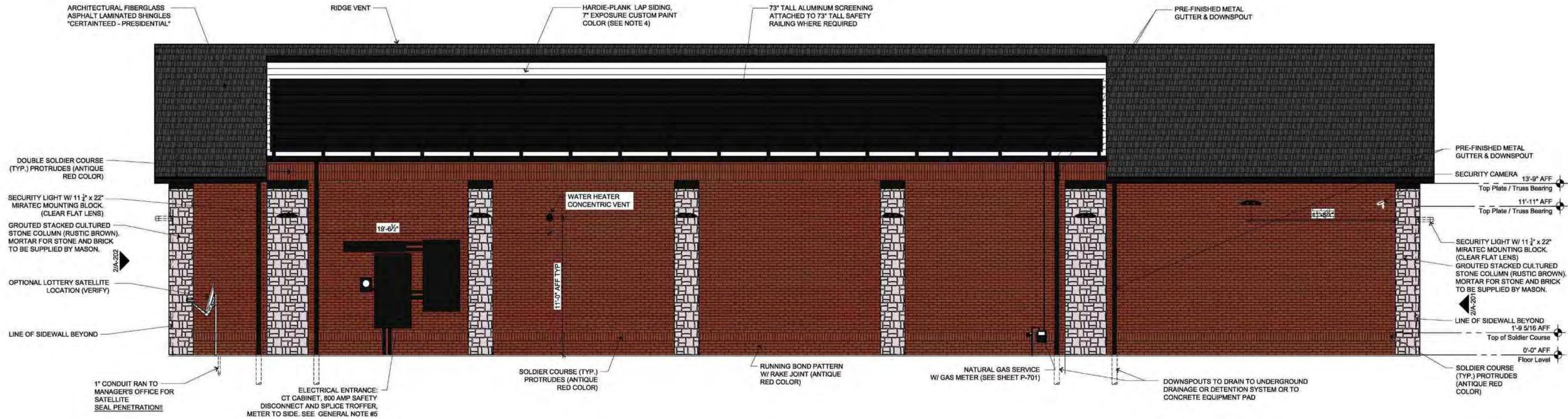
2 North Elevation
A-201 Scale: 1/4" = 1'-0"



P
ELDS DESIGN SERVICES
Architecture | Engineering | Surveying
2323 Duon Street, Des Moines, Iowa 50316 | P.O. Box 4628 Des Moines, Iowa 50305 | P: 515-265-8196 F: 515-266-2259
PELDS JOB NO. 19-085

CASEY'S General Store
CASA'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT:	HARRISON ST & 118TH ST LA VISTA, NE	DATE:	9/26/19	DRAWING INFORMATION:	EXTERIOR ELEVATIONS
DRAWING INFORMATION:	CONSTRUCTION DIVISION	DRAWN BY:	BRYAN RAHN	DESIGNED BY:	DANIEL WILLRICH
					A-201



1 East Elevation
 Scale: 1/4" = 1'-0"



2 South Elevation
 Scale: 1/4" = 1'-0"



General Notes

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 A-601: DOOR & WINDOW SCHEDULES AND NOTES
 S-101: FOOTINGS AND FOUNDATIONS
 S-102: ROOF TRUSSES
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- HARDIE SIDING PAINT FORMULA:** SHERWIN WILLIAMS / SATIN FINISH
 COLOR: CUSTOM ARNING C/N ETT TAN

BAC Blend-a-Color	OZ	32	64	128
B1 Black	-	-	1	-
N1 Raw Umber	-	23	1	1
Y3 Deep Gold	-	5	1	-

 WHITE & PASTEL TINT BASE (1 GALLON USE)
 (CUSTOM SHER-COLOR FORMULA MATCH)
- ELECTRICIAN TO INFORM GENERAL CONTRACTOR ON SIZE AND LOCATION OF CT CABINET(S) REQUIRED BY LOCAL POWER COMPANY. IF CABINET(S) CANNOT BE MOUNTED COMPLETELY ABOVE THE BRICK, STEPS MUST BE TAKEN TO ACCOUNT FOR THE LOCATION OF THE CABINET(S) TO BE RECESSED IN THE BRICK IF IT HAS NOT BEEN INSTALLED AT THE TIME THE BRICK IS BEING LAID.
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

P
ELDS DESIGN SERVICES

Architecture | Engineering | Surveying

2323 Dixon Street, Des Moines, Iowa 50316 | P.O. Box 4628 Des Moines, Iowa 50305 | P: 515-265-8196 F: 515-266-2259
 PELS JOB NO. 19-085

CASEY'S
General Store

CASEY'S CONSTRUCTION DIVISION
 One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: HARRISON ST & 118TH ST LA VISTA, NE	PUBLISHED: 9/26/19	DRAWING INFORMATION: EXTERIOR ELEVATIONS
DRAWING INFORMATION: CONSTRUCTION DIVISION	DRAWN BY: BRYAN RAHN	DESIGNED BY: DANIEL WILLRICH

A-202



Exhibit D

Combined Traffic Study to Include Impacts from Casey's

STRECK LABS

DRAFT TRAFFIC STUDY

LRA Job Number 0118087.03-119

(Conclusions & Recommendations Only)

October 2019

Prepared For:

Streck Labs

&

City of Omaha

&

City of La Vista

LAMP
RYNEARSON

CHAPTER 6: CONCLUSIONS AND RECOMMENDATIONS

Following are the main conclusions and recommended improvements:

- The site is anticipated to generate a total of 274 trips in the AM peak hour and 248 trips in the PM peak hour. In the AM peak hour, 241 vehicle trips will be entering the site and 33 trips exiting the site. For the PM peak hour, there will be 42 trips entering the site and 206 trips exiting the site.
- The gas station is anticipated to generate 244 trips in the AM peak hour with 122 trips entering and 122 trips exiting. For the PM, the gas station generates 324 trips with 162 trips entering and 162 trips exiting.
- An annual growth rate of 1.1 percent was used for this study.
- Synchro analysis shows that the lane configuration of the existing roadway network has the capacity to handle the anticipated trips generated from the proposed development.
- Based off of the MUTCD Warrant 2 (Four-Hour) and the MUTCD Warrant 3 (Peak Hour), the unsignalized intersection of 115th Street/116th Street and Harrison Street is not anticipated to warrant the need for a traffic signal in any scenario.
- Multiple movements are anticipated to operate at a LOS of F in various scenarios. The eastbound and southbound movements at the intersection of 118th Street/Harry Anderson Boulevard and Harrison Street operate at a LOS of F in background scenarios. By updating these movements to add a permissive/protected phase to the traffic signal, these movements are improved. The northbound and southbound left turning movements at the intersection of 115th Street/116th Street and Harrison Street are shown to be operating at a LOS of F in both the AM and PM peak hour in the background scenarios. This is also the case for the northbound and southbound right turning movement in the PM peak hour. This delay is not uncommon for the minor legs of an unsignalized intersection.
- Analysis shows that there could be situations where queuing could extend outside of the storage lane in various scenarios. The largest queuing length occurs along the south leg at the intersection of 115th Street/116th Street and Harrison Street.

The northbound right turning movement is shown to currently have a poor queue which is not uncommon for the minor legs of an unsignalized intersection.

July 16, 2019



Rob DuVall
Schemmer
1044 N 115th Street, STE 300
Omaha, NE 68154

RE: Conditional Use Permit – Initial Review
Proposed Casey’s – 118th & Harrison
Lot 3, Harrison Hills
Convenience Store & Gas Station

Mr. DuVall:

Thank you for your submittal of the Casey’s retail store Conditional Use Permit (CUP) application. Staff have reviewed the initial submittal based on the elements for consideration set forth in Article 6.05 of the Zoning Regulations and have provided the following initial comments:

1. Regarding Articles 6.05.02, 6.05.04, 6.05.06, 6.05.07 and 6.05.11, we find that the proposed use will not violate these conditions on the basis that the proposed use is to be located in an existing business park with commercial and industrial zoning involving activities similar in nature to the proposed convenience store.
2. Regarding Articles 6.05.01, 6.05.05 and 6.05.10, concerning traffic congestion, the applicant needs to have a traffic impact study performed by a qualified traffic engineer. The study will need to include the intersections of 118th & Harrison, and 115th & Harrison for existing condition traffic volumes and for buildout year of the proposed facility. This should include a review of MUTCD traffic signal warrants at the 115th & Harrison intersection and evaluation of whether modifications are needed at the 118th & Harrison intersection to maintain the existing levels of service. The proposed location of the right-in/right-out access onto 118th Street needs to be evaluated relative to queue lengths on 118th Street. A draft scope of traffic study should be prepared and submitted by the applicant's traffic engineer. We will review that scope with the City's traffic engineering consultant (Felsburg, Holt and Ullevig) and with the City of Omaha Traffic Engineer. The City of Omaha operates and maintains the traffic signals along Harrison Street and their concurrence in the study and conclusions will be necessary. The traffic study that was performed for the Restaurant Depot on the other side of 118th Street can be provided to the applicant to assist them in conducting the requested study. The traffic study for this proposal should be submitted and reviewed prior to taking action on the Conditional Use Permit.

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
p: 402-331-4343
f: 402-331-4375

Community Development
8116 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Fire
8110 Park View Blvd.
p: 402-331-4748
f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

Public Buildings & Grounds
8112 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Public Works
9900 Portal Rd.
p: 402-331-8927
f: 402-331-1051

Recreation
8116 Park View Blvd.
p: 402-331-3455
f: 402-331-0299

www.cityoflavista.org
info@cityoflavista.org

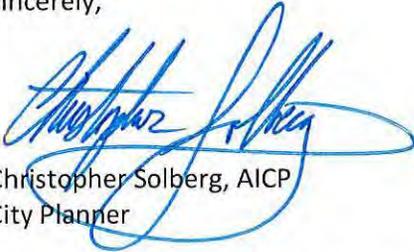
3. Regarding Articles 6.05.04, the proposed Site Layout Plan needs to identify type and location of best management practices that will be used to address water quality and no increase in 2-year storm event peak flows above pre-development conditions. Detailed design is not required, just an indication as to how this will be addressed.
4. Regarding Article 6.05.03, the Site Layout Plan proposes a shared driveway with the adjoining Lot 4 to the east. The owner of the adjacent lot needs to provide a written statement that they are agreeable to the proposed shared access. A finalized easement including maintenance provisions will be required prior to issuing a building permit.
5. In regards to Article 6.05.09, site lighting will be reviewed as part of the design review process.
6. The zoning listed on the site plan needs to be revised to include "Gateway Corridor District (Overlay District)".
7. Strike "Misc. Notes" #1 as the dumpster design will be handled through the design review sheet set.
8. Strike "Misc. Notes" #2 as the signage will be handled outside of the Conditional Use Permit approval process.
9. Strike "Special Requirements" as most of the items listed will be handled within the design review exhibits to the Conditional Use Permit or through sign permits outside of the Conditional Use Permit approval process.
10. Project narrative mentions an "included sign packet". A "sign packet" was not included in the application submittal. Regardless, discussion about signage can also be removed from the Project Narrative as signage will be handled outside of the Conditional Use Permit approval process.
11. An application for design review approval under the Gateway Corridor Design Guidelines has not been submitted at this time. Select documents from the design review process will be included within the Conditional Use Permit as exhibits to that permit. Please note that the Conditional Use Permit application cannot proceed to the Planning Commission until the design review process is substantially complete.

A draft Conditional Use Permit (CUP) will be forwarded to you after review of the requested traffic study and the design review process has commenced.

Please submit 4 full size copies (along with electronic copies) of the revised documents. A timeline for review by Planning Commission and City Council will be determined after review of the revised documents and the results of the initial design review.

Should you have any questions please contact me at 402-593-6402 or
csolberg@cityoflavista.org.

Sincerely,

A handwritten signature in blue ink, appearing to read "Christopher Solberg". The signature is fluid and cursive, with a large loop at the end.

Christopher Solberg, AICP
City Planner

Cc: John Kottmann, City Engineer
Jeff Sinnett, Chief Building Official
Katie DeRouchey, Casey's Retail Company
File



Design with Purpose. Build with Confidence.

November 8, 2019

Christopher Solberg, AICP
City Planner
City of La Vista
8116 Park View Blvd.
La Vista, NE 68128

RE: Conditional Use Permit – Initial Review Response Letter
Proposed Casey’s – 118th & Harrison
Lot 3, Harrison Hills
Convenience Store & Gas Station
Schemmer Project No. 06754.064

Dear Mr. Solberg:

Please see the following responses to your comments in your letter dated July 16, 2019. Feel free to contact me with any questions at (402) 431-6369 or rduvall@schemmer.com.

1. Regarding Articles 6.05.02, 6.05.04, 6.05.06, 6.05.07 and 6.05.11, we find that the proposed use will not violate these conditions on the basis that the proposed use is to be located in an existing business park with commercial and industrial zoning involving activities similar in nature to the proposed convenience store.
 - a. We acknowledge that this use will not violate the conditions on the basis that the proposed use is to be located in an existing business park with commercial and industrial zoning.
2. Regarding Articles 6.05.01, 6.05.05 and 6.05.10, concerning traffic congestion, the applicant needs to have a traffic impact study performed by a qualified traffic engineer. The study will need to include the intersections of 118th & Harrison, and 115th & Harrison for existing condition traffic volumes and for buildout year of the proposed facility. This should include a review of MUTCD traffic signal warrants at the 115th & Harrison intersection and evaluation of whether modifications are needed at the 118th & Harrison intersection to maintain the existing levels of service. The proposed location of the right-in/right-out access onto 118th Street needs to be evaluated relative to queue lengths on 118th Street. A draft scope of traffic study should be prepared and submitted by the applicant's traffic engineer. We will review that scope with the City's traffic engineering consultant (Felsburg, Holt and Ullevig) and with the City of Omaha Traffic Engineer. The City of Omaha operates and maintains the traffic signals along Harrison Street and their concurrence in the study and conclusions will be necessary. The traffic study that was performed for the Restaurant Depot on the

PHONE 402.493.4800
FAX 402.493.7951

1044 North 115th Street, Suite 300
Omaha, Nebraska 68154-4436

SCHEMMER.COM

- other side of 118th Street can be provided to the applicant to assist them in conducting the requested study. The traffic study for this proposal should be submitted and reviewed prior to taking action on the Conditional Use Permit.
- a. A traffic impact study was performed for this site and is attached to this email.
3. Regarding Articles 6.05.04, the proposed Site Layout Plan needs to identify type and location of best management practices that will be used to address water quality and no increase in 2-year storm event peak flows above pre development conditions. Detailed design is not required, just an indication as to how this will be addressed.
 - a. A StormTech® underground detention system is proposed for this site. A Post Construction Stormwater Management Plan is attached to this email.
 4. Regarding Article 6.05.03, the Site Layout Plan proposes a shared driveway with the adjoining Lot 4 to the east. The owner of the adjacent lot needs to provide a written statement that they are agreeable to the proposed shared access. A finalized easement including maintenance provisions will be required prior to issuing a building permit.
 - a. We have modified the site plan to only include a driveway on our lot and it is attached to this email.
 5. In regards to Article 6.05.09, site lighting will be reviewed as part of the design review process.
 - a. We acknowledge that the site lighting will be review as part of the design review process.
 6. The zoning listed on the site plan needs to be revised to include "Gateway Corridor District (Overlay District)".
 - a. The zoning listed on the site plan has been revised to include "Gateway Corridor District (Overlay District)".
 7. Strike "Misc. Notes" #1 as the dumpster design will be handled through the design review sheet set.
 - a. We removed this note from the site plan.
 8. Strike "Misc. Notes" #2 as the signage will be handled outside of the Conditional Use Permit approval process.
 - a. We removed this note from the site plan.
 9. Strike "Special Requirements" as most of the items listed will be handled within the design review exhibits to the Conditional Use Permit or through sign permits outside of the Conditional Use Permit approval process.
 - a. We removed this note from the site plan.
 10. Project narrative mentions an "included sign packet". A "sign packet" was not included in the application submittal. Regardless, discussion about signage can also be removed from the Project Narrative as signage will be handled outside of the Conditional Use Permit approval process.
 - a. We removed this from the narrative and attached the revised narrative.

11. An application for design review approval under the Gateway Corridor Design Guidelines has not been submitted at this time. Select documents from the design review process will be included within the Conditional Use Permit as exhibits to that permit. Please note that the Conditional Use Permit application cannot proceed to the Planning Commission until the design review process is substantially complete.

- a. We have applied for design review approval under the Gateway Corridor Design Guidelines.

Sincerely,

THE SCHEMMER ASSOCIATES INC.



Robert DuVall, P.E.
Project Manager

Enclosures

City of La Vista Design Review of Casey's General Store 118th and Harrison.

Submitted by Kevin Schluckebier, AIA on Nov. 11, 2019.

Based on: Gateway Corridor District dated 17 September 2013



Summary:

Good submittal with minimal additional information requested, see following detailed comments. I'll only comment on items that have concerns in this Review Letter.

I & II Relationship of Building to Site and Adjoining Area:

- Pedestrian scale on sides noted within Building Design area.
- Although plantings are provided along Harrison, some earth berming may assist with four season screening.
- Not all utility information is noted. Please confirm all utility transformers, pedestals etc, are screened.

III Landscape and Site Treatment:

- Landscape beds are mostly linear along the perimeter of the paving. Provide more natural undulation and interest within planning bed layout.
- Confirm all utility pedestals, transformers etc, are all screened.
- **Lighting fixture cuts not provided for review.**

IV Building Design:

- Scale of building. Gable ends are 4x pedestrian scale. Current design provides no detail in upper portion of wall. Stone at lighting only breaks up lower portion of wall. Suggest additional color/detail of upper gable area. Pilasters terminate into more brick with minimal detail.
- Four-sided building: See note above regarding the side elevations. The south side does appear as a back. An option to detail the mechanical area as more of a porch with horizontal stone between the stone piers creating a porch look would help break up that elevation. Suggest moving the lighting to the pilasters under the center mechanical area only as on the sides to minimize attention to the utilities.
- Materials:
 - Brick is acceptable
 - Stone. Sample has not been provided. Provide a through color product.
 - Metal window/door framing bronze is acceptable.
 - Hardie Board is acceptable in mechanical court as noted. Color provided is acceptable.
 - Metal screening, gutters, downspouts: Do they match metal window framing?
- Equipment Screening: **Provide a Section** and product cuts for sizing that screening is effective at elevation view of largest element.
- Ladder support, **provide section detail** of this element and how it incorporates into the screening. Openings?
- **Provide light fixture cuts.**

- Are any site furnishings provided?

V Signs: Not Reviewed

IV Maintenance:

- Overall materials submitted will provide a long life. Confirm the painting/coating on exterior metal (gas pump bollards and any exposed metal), through color of stone products. Design provides separation of building and mowing, etc to minimize potential impacts.

If you have any questions or clarifications regarding this review, please don't hesitate to contact me.

Kevin Schluckebier, AIA,

P: 402.651.8506

kschluckebier@cox.net

City of La Vista Design Review of Casey's General Store 118th and Harrison.

Submitted by Kevin Schluckebier, AIA on Nov. 8, 2019.

Based on: Gateway Corridor District dated 17 September 2013 Revised 1-13-20



Summary:

Good submittal with minimal additional information requested, see following detailed comments. I'll only comment on items that have concerns in this Review Letter.

I & II Relationship of Building to Site and Adjoining Area:

- Pedestrian scale on sides noted within Building Design area.
- Although plantings are provided along Harrison, some earth berming may assist with four season screening.
- Not all utility information is noted. Please confirm all utility transformers, pedestals etc, are screened. **Insure all items are screened.**

III Landscape and Site Treatment:

- Landscape beds are mostly linear along the perimeter of the paving. Provide more natural undulation and interest within planning bed layout. **Corrected per submittal Jan. 7th to an acceptable level.**
- Confirm all utility pedestals, transformers etc, are all screened.
- **Lighting fixture cuts not provided for review. 1-7-20 no cut sheets received for review.**

IV Building Design:

- Scale of building. Gable ends are 4x pedestrian scale. Current design provides no detail in upper portion of wall. Stone at lighting only breaks up lower portion of wall. Suggest additional color/detail of upper gable area. Pilasters terminate into more brick with minimal detail. **Corrected per submittal Jan. 7th to an acceptable level.**
- Four-sided building: See note above regarding the side elevations. The south side does appear as a back. An option to detail the mechanical area as more of a porch with horizontal stone between the stone piers creating a porch look would help break up that elevation. Suggest moving the lighting to the pilasters under the center mechanical area only as on the sides to minimize attention to the utilities. **Corrected per submittal Jan. 7th to an acceptable level.**
- **Ensure the exterior utility panels/devices are painted to match the supporting wall brick color.**
- Materials:
 - Brick is acceptable
 - Stone. Sample has not been provided. Provide a through color product. **1-7-20 no cut sheet or stone sample provided for review.**
 - Metal window/door framing bronze is acceptable.
 - Hardie Board is acceptable in mechanical court as noted. Color provided is acceptable.
 - Metal screening, gutters, downspouts: Do they match metal window framing? **1-7-20 no additional information provided.**

- Equipment Screening: **Provide a Section** and product cuts for sizing that screening is effective at elevation view of largest element. **Section provided, yet no confirmation of unit sizes to confirm largest size for comparison.**
- Ladder support, **provide section detail** of this element and how it incorporates into the screening. Openings? **1-7-20 no additional information provided.**
- **Provide light fixture cuts. 1-7-20 no additional information provided.**
- Are any site furnishings provided? **1-7-20 no additional information provided.**

V Signs: Not Reviewed

IV Maintenance:

- Overall materials submitted will provide a long life. Confirm the painting/coating on exterior metal (gas pump bollards and any exposed metal), through color of stone products. Design provides separation of building and mowing, etc to minimize potential impacts. **1-7-20 no additional information provided.**

If you have any questions or clarifications regarding this review, please don't hesitate to contact me.



Kevin Schluckebier, AIA,

P: 402.651.8506

KSstudio@cox.net

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
JANUARY 21, 2020 AGENDA**

Subject:	Type:	Submitted By:
INTERLOCAL AGREEMENT – SARPY COUNTY TRAFFIC TASK FORCE	◆ RESOLUTION ORDINANCE RECEIVE/FILE	BOB LAUSTEN POLICE CHIEF

SYNOPSIS

A resolution has been prepared to approve an Interlocal Cooperation Agreement between the cities of La Vista, Bellevue, Papillion and Sarpy County for the Sarpy County Traffic Safety Task Force.

FISCAL IMPACT

The agreement is part of a grant request to the Nebraska Department of Transportation which, if approved, would reimburse the department for overtime associated with Task Force activities.

RECOMMENDATION

Approval

BACKGROUND

The Traffic Safety Task Force brings together four (4) law enforcement agencies in Sarpy County to include; the Sarpy County Sheriff’s Office, and the police departments of Bellevue, Papillion, and La Vista, in an effort to increase enforcement in areas where traffic is highest or where problems have been identified by crash data, citizens, or law enforcement without decreasing uniformed patrol levels. In addition to regular traffic enforcement activities, the Task Force may be available for increased enforcement during public events, school events, and other identified occasions where the potential for fatal and injurious crashes is high. A grant request of \$40,000 (\$10,000 per agency) to the Nebraska Department of Transportation is being prepared. Funding will pay overtime costs associated with the additional time law enforcement officer’s work in excess of 40 hours/week as a result of the duties and responsibilities related to the Task Force.

RESOLUTION NO.

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA APPROVING AN INTERLOCAL COOPERATION AGREEMENT FOR THE SARPY COUNTY TRAFFIC TASK FORCE.

WHEREAS, pursuant to the authority granted under Neb. Rev. Statute 13-801, et. Seq. Reissue 1997, the Mayor and City Council determine that it is in the best interest of the City to renew an interlocal cooperation agreement for the purpose of providing forensic and crime scene investigation services in an efficient and effective manner; and

WHEREAS, reducing the number of traffic law violations and traffic crashes through high visibility enforcement efforts in Sarpy County is the goal. The formation of the Sarpy County Traffic Safety Task Force (herein "Task Force") will form a confederation of law enforcement Agencies working collaboratively to create omnipresence of law enforcement in Sarpy County. Through this agreement, it is hoped that the Agencies will reduce the number of serious injury and fatality crashes in Sarpy County; and

WHEREAS, the La Vista, Bellevue, Papillion Police Departments and the Sarpy County Sheriff's Office seek to increase the targeted enforcement of traffic law violations through sustained enforcement by limiting the impact of each Cooperating Agency's resources. Task Force operations may include multi-agency saturation patrols, checkpoints, and community outreach; and

WHEREAS, the Cooperating Agencies entered into an Interlocal Cooperation Agreement with Other Entities Regarding Law Enforcement Assistance on the 22nd day of April, 1997 which authorized the law enforcement Agencies of the City of Bellevue, City of La Vista, City of Papillion in Sarpy County and the Sarpy County Sheriff to request assistance in non-emergency situations when done so by an Agency Head;

NOW, THEREFORE, BE IT RESOLVED, that the City Council of La Vista, Nebraska, hereby authorize the Mayor to execute an Interlocal Cooperation Agreement with the City of Bellevue, the City of Papillion, and Sarpy County for the Sarpy County Traffic Safety Task Force.

PASSED AND APPROVED THIS 21ST DAY OF JANUARY, 2020.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

SARPY COUNTY MULTI-AGENCY TRAFFIC ENFORCEMENT TASK FORCE AGREEMENT

THIS AGREEMENT is entered into as of this ____ day of _____, 20____ being the date the party hereto signs the Agreement, by and between the City of Bellevue, City of La Vista, City of Papillion and Sarpy County; herein collectively referred to as “Cooperating Agencies” or singularly as “Cooperating Agency” or “Agency”.

WHEREAS, the above-named law enforcement Agencies wish to improve law enforcement services and implement, to the extent herein provided by the authority given by Neb. Rev. Stat. § 29-215 to law enforcement officers of each of the parties here to enforce the laws of the State and the legal ordinances of Cooperating Agencies.

WHEREAS, reducing the number of traffic law violations and traffic crashes through high visibility enforcement efforts within each Cooperating Agencies’ jurisdiction in Sarpy County is the goal of each Cooperating Agency. The formation of the Sarpy County Traffic Safety Task Force (herein “Task Force”) will form a confederation of law enforcement Agencies working collaboratively to create omnipresence of law enforcement in Sarpy County. Through this agreement, it is hoped that the Agencies will reduce the number of serious injury and fatality crashes in Sarpy County.

WHEREAS, the above-named Agencies seek to increase the targeted enforcement of traffic law violations through sustained enforcement by limiting the impact of each Cooperating Agency’s resources. Task Force operations may include multi-agency saturation patrols, checkpoints, and community outreach.

WHEREAS, the Cooperating Agencies entered into an Interlocal Cooperation Agreement with Other Entities Regarding Law Enforcement Assistance on the 22nd day of April, 1997 which authorized the law enforcement Agencies of the City of Bellevue, City of La Vista, City of Papillion in Sarpy County and the Sarpy County Sheriff to request assistance in non-emergency situations when done so by an Agency Head.

WHEREAS, the Interlocal Cooperation Agreement allows officers of participating Agencies to have full law enforcement authority to arrest and detain while serving regular shift duty or other period within a Host Agency that has requested officer coverage or backup for such a period of time or while engaged in providing services under a mutual assistance request from a Host Agency.

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

1. Definitions: As used herein, the following terms shall have the following meanings:
 - a. “Cooperating Agencies” or “Agencies” shall mean parties’ signatory hereto, and “Agency” shall mean any one of the Agencies.
 - b. “Host Agency” shall mean an Agency with Primary Jurisdiction other than an Officer’s own Agency of regular employment.
 - c. “Officer” shall mean a duly sworn full-time paid law enforcement officer in employ of a Cooperating Agency.
 - d. “Agency Head” shall mean the Chief of Police, Sarpy County Sheriff, and/or his/her designee.
2. Authority: The authority for the Cooperating Agencies entering into the Agreement is the authority granted by law, including the general powers of the parties under the Nebraska Interlocal Cooperation Act, Neb. Rev. Stat. § 13-807, *et seq.*, authority granted under Neb. Rev. Stat. § 29-215 and by the existing Interlocal Cooperation Agreement entered into on the 22nd day of April, 1997, referenced above.

SARPY COUNTY MULTI-AGENCY TRAFFIC ENFORCEMENT TASK FORCE AGREEMENT

3. Purpose: The purpose of this agreement is to authorize officers of the Bellevue Police Department, the La Vista Police Department, and the Papillion Police Department to provide law enforcement services outside the limits of their primary jurisdictions as authorized by Subsections (2)(d) of Neb. Rev. Stat. § 29-215, specifically within areas of each Agencies' jurisdictions of Sarpy County. This service includes traffic enforcement, checkpoints, or assigned calls for service.
4. Manpower Request: Each Cooperating Agency will work collaboratively with each other to provide additional officers for scheduled traffic enforcement operations within each jurisdiction.
5. Supervision: Each participating officer shall be considered and held as serving in the regular line of duty of the Agency which employs the officer as fully as if the officer were serving within the limits of the officer, that is, the officer's primary jurisdiction and shall remain under the supervision of his or her own Agency.
6. Agency Liaison: Each Agency shall designate an Officer to function as the liaison between Agencies.
7. Term of Agreement: This agreement shall be effective on the date of the last executed signature below and shall continue in full force and effect until any Agency elects to withdraw from this agreement upon notification to the other Agencies.
8. To the extent applicable and to the extent not in conflict with this Agreement, the April 22, 1997, Interlocal Agreement shall govern the parties' activities, duties, and rights under this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed or have caused this Agreement to be so executed by them and their duly authorized officers on the day of the year first above written.

COUNTY OF SARPY, NEBRASKA,

A Nebraska Political Subdivision

By: _____
Don Kelly, Sarpy County Board Chairman

Date: _____

Attest:

Deb Houghtaling, County Clerk

Approved as to Form:

Deputy Sarpy County Attorney

SARPY COUNTY MULTI-AGENCY TRAFFIC ENFORCEMENT TASK FORCE AGREEMENT

CITY OF PAPILLION, NEBRASKA

A municipal corporation and Nebraska Political
Subdivision

By: _____
David P. Black, Mayor

Date: _____

Attest:

Nicole Brown, City Clerk

CITY OF LA VISTA, NEBRASKA

A municipal corporation and Nebraska Political
Subdivision

By: _____
Douglas Kindig, Mayor

Date: _____

Attest:

Pamela A. Buethe, City Clerk

CITY OF BELLEVUE, NEBRASKA

A municipal corporation and Nebraska Political
Subdivision

By: _____
Rusty Hike, Mayor

Date: _____

Attest:

Susan Kluthe, City Clerk

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
JANUARY 21, 2020 AGENDA**

Subject:	Type:	Submitted By:
COMMUNITY EVENT GUIDE – PRINTING & MAILING SERVICES	◆ RESOLUTION ORDINANCE RECEIVE/FILE	MITCH BEAUMONT COMMUNITY RELATIONS COORDINATOR

SYNOPSIS

A resolution has been prepared to approve an agreement with Colonial Press, La Vista, NE, to provide printing and mailing services associated with two (2) community event guides.

FISCAL IMPACT

The FY19/FY20 Biennial Budget provides funding for the proposed project.

RECOMMENDATION

Approval.

BACKGROUND

City of La Vista Strategic Plan 2018-2020 identifies the goal of developing an annual community event guide, to provide a more comprehensive glimpse to residents of upcoming events and programs. A committee has been working over the past year to create this new publication, and it is anticipated it will be published and distributed via direct mail this spring.

The City recently solicited proposals for printing and mailing services related to this publication. Nine (9) proposals were submitted and reviewed by staff. Staff is recommending the selection of Colonial Press for this project. Colonial Press was the lowest, most responsible bidder meeting all specifications outlined in the RFP.

<u>Bidder</u>	<u>Price Per Issue</u>
Colonial Press – La Vista, NE	\$ 8,846.98
Digital Express - La Vista, NE	\$ 13,166.43
Liberty Press – Springville, UT	\$ 6,992.00
Nebraska Printing Services – Lincoln, NE	\$ 10,939.18
Nystrom Publishing Co. – Maple Grove, MN	\$ 8,885.50
Phoenix Printing – Oshkosh, WI	\$ 27,054.00
Print Group Inc. – Ozark, MO	\$ 6,841.76
PrintMailPro – Austin, TX	\$ 7,857.00
Suburban Newspapers – Omaha, NE	\$ 9,210.00

RESOLUTION NO.

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE EXECUTION OF AN AGREEMENT WITH COLONIAL PRESS, LA VISTA, NEBRASKA, FOR COMMUNITY EVENT GUIDE PRINTING AND MAILING SERVICES.

WHEREAS, the Mayor and City Council have determined that printing and mailing services for the Community Event Guide are necessary; and

WHEREAS, proposals were solicited, and nine proposals were received and reviewed; and

WHEREAS, it is determined that Colonial Press is the lowest, most responsible bidder meeting all specifications outlined in the request for proposals; and

WHEREAS, the FY19/20 Biennial Budget provides funding for the proposed services;

NOW, THEREFORE BE IT RESOLVED, by the Mayor and City Council of La Vista, Nebraska, that an agreement, in a form satisfactory to the City Administrator and City Attorney, be authorized with Colonial Press, La Vista, Nebraska, for Community Event Guide printing and mailing services.

PASSED AND APPROVED THIS 21ST DAY OF JANUARY 2020.

CITY OF LA VISTA

ATTEST:

Douglas Kindig, Mayor

Pamela A. Buethe, CMC
City Clerk

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
JANUARY 21, 2020 AGENDA**

Subject:	Type:	Submitted By:
PURCHASE – UTILITY DUMP TRAILER	◆ RESOLUTION ORDINANCE RECEIVE/FILE	JASON ALLEN PARK SUPERINTENDENT

SYNOPSIS

A resolution has been prepared authorizing the purchase of a Rice Utility Dump Trailer from Neels Trailer Outlet, 310 South 4th St, Elmwood, NE 68349 for an amount not to exceed \$9,200.00

FISCAL IMPACT

The FY 19/20 Biennial Budget provides funding for the proposed purchase.

RECOMMENDATION

Approval.

BACKGROUND

The Utility Dump Trailer will be used to perform a wide variety of tasks within the parks division. The focus for the trailer will be to haul debris created from tree removal and trimming, but it can be used to haul many materials utilized in the day-to-day operations of the division. Parks staff researched a number of utility trailers and found the Rice trailer to be the most robust with the necessary options to perform the day to day tasks within the parks division.

RESOLUTION NO.

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE PURCHASE OF ONE (1) RICE UTILITY DUMP TRAILER FROM NEELS TRAILER OUTLET, ELMWOOD, NEBRASKA IN AN AMOUNT NOT TO EXCEED \$9,200.00.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of a Rice Utility Dump Trailer is necessary; and

WHEREAS, the FY 19/20 Biennial Budget provides funding for this purchase; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal code requires that the City Administrator secure council approval prior to authorizing any purchases over \$5,000;

NOW, THEREFORE BE IT RESOLVED, that the Mayor and City Council of the City of La Vista, Nebraska authorize the purchase of one (1) Rice Utility Dump Trailer from Neels Trailer Outlet, Elmwood, Nebraska in an amount not to exceed \$9,200.00.

PASSED AND APPROVED THIS 21ST DAY OF JANUARY, 2020.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

Neels Trailer Outlet, Inc.
310 South 4th Street
PO Box 145
Elmwood, NE 68349
(402) 994-2169

Date
 12/14/2019

QUOTE
 17842

For:

Attn: Jason Allen
 City of LaVista

jallen@cityoflavista.org

Phone: 402-331-8927

Bid# // PO#	Terms	Quote Valid Thru:
	Down Pymt Required	12/27/2019

Qty	Item	Description	Rate	Total
1	Flat...	82x14 RICE TRAILER Dump Box 24" 8 GAUGE STEEL SIDES with Stake Pockets 7 GAUGE STEEL FLOOR w/D-Rings - ONE PIECE Scissor Hoist 16" on Center Floor Crossmembers Full Length Tandem Stringers 8 Ton Hoist Lift Capacity Power Up/Power Down - psi 3500 up/ 1500 down Lockable Pump Box w/Battery & Corded Remote BATTERY TENDER - STANDARD Fabricated Heavy Duty Steel Fenders Step Ahead/Behind Fenders 6x2x3/16 TUBE BED & MAIN FRAME w/6" Formed Channel Wrap Tongue 2 5/16" ADJ HEIGHT COUPLER & Heavy Duty Safety Chains Combo Barn Doors/Dump Gate w/Gate Chains 16,000# Rear Hinges 5' Heavy Duty Ramps w/LOCKABLE Carrier Recessed DOT Compliant LED Lighting Fully Sealed Modular Wiring Harness Powder Coat Finish Tarp Tie Downs and Mounting Brackets 12K DROP LEG JACK Tandem 7,000# Electric Brake Axles Breakaway Kit/Battery 4 New ST235/80R16 Radial Tires/8-Bolt Mod Wheels EZ Lube Hubs Fully DOT Compliant GVW 14,000#	8,600.00	8,600.00
1	Dum...	Bolt on Spare Tire Mount	54.00	54.00
1	Dum...	Dump Tarp Kit	360.00	360.00
1	Misc	SPARE ST235/80R16 Radial / 8 Bolt Mod Wheel (10 Ply)	185.00	185.00

Subtotal	\$9,199.00
Sales Tax (7.0%)	\$0.00
Total	\$9,199.00

Neels Trailer Outlet, Inc.

BIG RIG REPAIR, INC
 12/23/2019 TIME: 09:39:07
 23188 HIGHWAY 6
 3314343 TERMS: Due on 10th

DATE:

ACCT NO:

SLS ID/REP: CS

/ JOB:
 GRETNA, NE 68028

PO NUM:
 SHIP VIA: Customer Pickup
 TAX

Phone: (402)332-4833 Fax: (402)332-5089
 EXEMPT#: SECT B - CAT #1
 QUOTE FROM GRETNA, NE
 LOCATION BRT

PAGE: 1

QUO

TE: 190767

SOLD TO:
 CITY OF LA VISTA
 VISTA Q U O T E
 8116 PARK VIEW BLVD
 LA VISTA, NE 68128

SHIP TO:
 CITY OF LA
 8116 PARK VIEW BLVD
 LA VISTA, NE 68128

JASON

(402)331-4343

*-----QUANTITY-----

* PL	ITEM	YOUR	EXT	CORE	ORDERED	SHIP	B/O	PRICE
NUMBER	DESCRIPTION	AMOUNT						
PJT DLA1472BSSK	14' X 83" LOW PRO							
DUM		0.00	1	1	8175.00	8175.00	N	
PJT P=TARP	TARP FOR							
DUMP		0.00	1	1		290.00	290.00	N
PJT M=SPARE TIRE MOUNT	SPARE TIRE MOUNT							
ONLY		0.00	1	1	35.00	35.00	N	

INCLUDES A SPARE WHEEL & TIRE - NO EXTRA CHARGE -CS
 EXCHANGE COUPLER FOR PINTLE RING - NO EXTRA CHARGE -CS

PRICES ON THIS QUOTE ARE GOOD FOR 15 DAYS.
 ALL SPECIAL ORDERS ARE TO BE PREPAID AND ARE NON RETURNABLE.

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
JANUARY 21, 2020 AGENDA**

Subject:	Type:	Submitted By:
REQUEST FOR PROPOSALS – ENGINEERING SERVICES	◆ RESOLUTION ORDINANCE RECEIVE/FILE	PAT DOWSE CITY ENGINEER

SYNOPSIS

A resolution has been prepared authorizing the advertisement of a Request for Proposals (RFP) for professional engineering services for the conceptual design phase of the Giles Road Widening Project, from approximately the I-80 Eastbound on/off ramps to 96th Street.

FISCAL IMPACT

The FY 19/20 Biennial Budget provides funding for this project.

RECOMMENDATION

Approval.

BACKGROUND

The traffic demand on the west side of the Giles Road corridor continues to increase with ongoing development and normalizing traffic patterns. As traffic levels eventually increase to at or near capacity for many components of the of the roadway network, congestion and delay will also increase, which will compound traffic related issues for the traveling public and City resources. This RFP is intended to engage transportation planning and engineering professionals to evaluate the current corridor and provide recommendations for short term and long-term improvement projects as well as begin to coordinate said potential projects with adjacent jurisdictional entities.

RESOLUTION NO.

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE REQUEST FOR PROPOSALS FOR CONSULTING ENGINEERING SERVICES FOR A CONCEPTUAL DESIGN FOR THE GILES ROAD WIDENING PROJECT.

WHEREAS, the Mayor and Council have determined that consulting engineering services are necessary; and

WHEREAS, the FY 19/20 Biennial Budget provides funding for the proposed services; and

WHEREAS, proposals will be due February 21, 2020 with the approval of selected firm by the City Council on March 17, 2020, subject to the discretion of the City;

NOW, THEREFORE BE IT RESOLVED, that the Mayor and City Council hereby authorize the request for proposals for consulting engineering services for a conceptual design for the Giles Road Widening Project.

PASSED AND APPROVED THIS 21ST DAY OF JANUARY 2020.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk



REQUEST FOR PROPOSAL
FOR
CONSULTING ENGINEERING SERVICES
FOR
CONCEPTUAL DESIGN
FOR
GILES ROAD WIDENING
CITY OF LA VISTA, NEBRASKA

**ISSUE DATE:
JANUARY 22, 2020**

**PROPOSALS DUE:
FEBRUARY 21, 2020 – 11:30 a.m. CST***

*Late Proposals Will Be Rejected

RETURN SUBMITTALS TO:

Pamela A. Buethe
City Clerk
8116 Park View Blvd.
La Vista, NE 68128
pbuethe@cityoflavista.org
402.331.4343

CITY OF LA VISTA
REQUEST FOR PROPOSAL FOR:
CONSULTING ENGINEERING SERVICES FOR CONCEPTUAL DESIGN
FOR GILES ROAD WIDENING

NOT AN ORDER

From: City of La Vista
City Clerk
8116 Park View Blvd.
La Vista, Nebraska 68128

Published:
January 29, 2020

PROPOSAL DEADLINE:
February 21, 2020 at 11:30 a.m.
La Vista City Hall
8116 Park View Blvd.

(Council Approval is Scheduled for March 17, 2020.)

PURPOSE

The City of La Vista, Nebraska (City) is hereby soliciting consultant proposals for professional services to provide design services for the Conceptual Design for the Giles Road Widening Project. This request invites qualified consultants to submit proposals for accomplishment of the work described below under Scope of Services. Once the firm is selected, a contract will be negotiated based upon a mutually agreed upon scope of services.

PROJECT DESCRIPTION

Provide professional engineering and surveying services to prepare conceptual plans and opinions of construction costs for public infrastructure including storm sewers, pavement for roadways, traffic signal timing, coordination and/or improvements, as well as preliminary utility coordination for the Giles Road corridor from the I-80 Eastbound on/off ramps to 96th Street. It is generally anticipated that Giles Road will be widened to a six-lane section from the I-80 Eastbound on/off ramps to a point east of 120th Street to accommodate future traffic, with additional turn lanes and/or additional signal improvements through the east terminus of the project. An aerial of the contemplated project limits is attached herewith as Exhibit "A".

SCOPE OF SERVICES

- Perform topographic survey and/or GIS analyses of existing corridor as to understand the existing roadway geometry and configuration. Further design will most likely warrant in-depth survey of the entire corridor, but survey data for this phase of the project will mainly

be for critical information related to roadway geometry and feature elevations.

- Review signal timing plans, and where necessary, conduct traffic studies at the Giles Road intersections of Southport Parkway, West Giles Road, 120th Street, 117th Street, 114th Street, 108th Street, and 96th Street. Traffic studies may need to be undertaken at the unsignalized intersections of 107th Street 103rd Street, 101st Street and/or 99th Plaza if signalization and or/access control is anticipated within the design horizon of the corridor.
- Identify short terms improvements, such as signal timing, reconfiguration, and/or striping modifications to allow for acceptable levels of service on the corridor within a 5 to 10-year design horizon. If acceptable levels of service cannot be obtained, assign priority to improvements that will have the greatest level of service impacts. Identify long term improvements for a 20-year design horizon, such additional lane improvements, turning lane improvements, signal improvements, access management and/or roadway reconstruction/reconfiguration. Long term improvements should include potential phasing, and/or projects that may be able to be broken out and completed by priority and/or level of service impact to the corridor. Long term and short term solutions should generally contemplate allowing for one through lane of traffic in each direction at all times.
- Identify through desktop analysis potential jurisdictional waters of the United States in the anticipated work areas, and potential permitting options to satisfy potential permitting requirements. A full jurisdictional investigation and permit application will not be perused until such time as final design is commenced.
- Review all available reports, plans, maps and studies that the City has available for the project area and incorporate relevant information from such documents into the design work for the contemplated improvements. The City will make available copies of any infrastructure plans for abutting roads and sewers as well as publicly submitted studies.
- Consider potential stormwater management considerations for the project, including stormwater BMPs, consistent with transportation corridors.
- Consider multimodal alternatives and their potential incorporation into the corridor, including mutli-use trial connections, pedestrian connections/accessibility, transit considerations, and other potential transportation innovations.
- Meet with the City and other jurisdictional entities including but not limited to, Nebraska Department of Transportation, Natural Resources District and the Burlington Northern Railroad for the purpose of discussing designs, options, potential construction scheduling, potential permitting, alternatives, costs, and other relevant matters related to facilitating the construction of this project, as well as coordination with other jurisdictional rights of way within the vicinity of the corridor.
- Meet and coordinate with utility companies within the corridor to understand the existing locations of utilities, and potential conflicts that may arise in the final design and construction phases of the project.
- Prepare a preliminary opinion of probable construction costs based upon the conceptual

plans including anticipated engineering fees for design and construction phase services. The cost opinion should include any other contemplated soft costs, such as right of way/easement acquisition, permitting fees, etc.

- Prepare conceptual plans (15%) for the roadway corridor, bridges and signals. Preliminary plans shall contain proposed vertical and horizontal alignment, typical cross sections, conceptual construction limits and right of way limits, contemplated bridge type, size and location plans for any contemplated bridge expansions.

PROJECT SCHEDULE

All firms submitting proposals must be prepared to initiate work on this project immediately upon Notice to Proceed. The selected firm must be able to complete the services in time to invoice for 100% of the work product by September 30, 2020. A Notice to Proceed is anticipated to be issued on or about March 23, 2020. Only those firms able to perform the necessary work activities within this schedule should respond to this RFP.

PROPOSAL REQUIREMENTS

In order to facilitate review of the project proposals by the City of La Vista, the following information must be included in the proposal in the order listed:

1. A letter of interest not to exceed 2 pages. This needs to identify the primary and secondary contact persons with phone and e-mail contact information.
2. The body of the proposal (Project Understanding and Approach) shall be limited to fifteen (15) pages, 8 1/2" by 11" single sided and up to five (5) additional pages, 11" by 17" single sided.
3. Listing of organization(s) included in the Project Team. This discussion should include the primary areas of responsibility of each team member and an estimated proportion of the total contract work to be performed by each team member/firm.
4. A listing of similar work performed within the last 3-years to include dollar value, project description, project team, and contacts for project owners. Each project description (maximum of four (4) allowed) will be limited to one single sided page.
5. A maximum of 5 pages of additional supportive material such as charts, tables, or photos.
6. The names of key personnel, qualifications, experience and the proposed project manager shall be provided. This should include a discussion of similar projects the key personnel and project manager have worked on. The availability of the key personnel and their redundancy to work on this project needs to be set forth in the Proposal.
7. A project schedule outlining the time frame and estimated completion date of each major task outlined in the project approach section. The project schedule should include estimated dates for deliverable products throughout the course of the design period.

8. Submit three (3) bound copies of the Proposal and one (1) thumb drive containing a pdf copy of the Proposal.
9. Provide proof of professional liability insurance in the amount of not less than \$2,000,000.

NOTES:

- A. Price IS NOT a selection factor and is not to be included in the consultant's proposal. A Professional Services Agreement will be negotiated after the consultant is selected.
- B. The City of La Vista reserves the right to utilize the selected consultant for future phases of design work and construction services.

SELECTION CRITERIA

Proposals will be reviewed, evaluated, and ranked by an internal review committee. The review committee will evaluate and score the proposals to determine the consultant best qualified for the project. Negotiations will be held with the top ranked consultant to establish a fee for the project. In the event an agreement is not reached, then negotiations will take place with other consultants in the order of ranking if needed. The selection criteria, including their relative importance are:

Criteria	Point Range
1. Ability and experience of professional personnel and staff.	0 – 20
2. Past performance for La Vista or other agencies.	0 - 20
3. Adequate staff to perform the work and ability to meet time requirements.	0 - 20
4. Project understanding and approach	0 - 20
5. Considerations for transportation innovations and multimodal connectivity	0 - 20
Total Points (Maximum)	100

PROTOCOL

Proposals must be at the City Clerk's Office at City Hall, 8116 Park View Boulevard, La Vista, NE 68128 no later than 11:30 am, February 21, 2020. No exceptions to this deadline will be given. Please provide the required copies of your proposal in an envelope or other sealed container clearly marked on the exterior as containing "Proposal for Engineering Consulting Services - Giles Road Widening".

All correspondence, questions, and additional information regarding this RFP must be presented in writing and addressed to City of La Vista, Pat Dowse, City Engineer, 9900 Portal Road, La Vista, NE 68128 or electronically to pdowse@cityoflavista.org.

Proposals must remain firm for sixty (60) days from the proposal due date. City of La Vista reserves the right to refuse any or all proposals and to waive technicalities in order to accept proposals that may be in the best interest of the City of La Vista, at its sole discretion.

The consultant, with regard to the services performed by it during the project, shall not discriminate on the grounds of race, color, national origin, sex, age and disability/handicap including selection of sub-consultants.

END OF RFP