



**CITY OF LA VISTA  
8116 PARK VIEW BOULEVARD  
LA VISTA, NE 68128  
P: (402) 331-4343**

**PLANNING COMMISSION AGENDA  
APRIL 20, 2023 – 6:30 P.M.**

- 1. *Call to Order***
- 2. *Approval of Meeting Minutes – March 16, 2023***
- 3. *Old Business***
- 4. *New Business***
  - A. PUD Amendment – Lot 2 Woodhouse Place and Lots 1 & 2 Woodhouse Place Replat 2 – Woodhouse Auto Family**
    - i. Staff Report — Christopher Solberg, Deputy Community Development Director
    - ii. Public Hearing
    - iii. Recommendation
  - B. Zoning Map Amendment – Lots 1-3 Mayfair 2nd Addition Replat Seven and Lot 2 Mayfair 2nd Addition Replat Three (northeast of the intersection of S 99th Street and Hillcrest Plaza) - Hubbell Development Services, Inc.**
    - i. Staff Report — Christopher Solberg, Deputy Community Development Director
    - ii. Public Hearing
    - iii. Recommendation
- 5. *Comments from the Floor***
- 6. *Comments from the Planning Commission***
- 7. *Comments from Staff***
- 8. *Adjournment***

*The public is welcome and encouraged to attend all meetings. If special accommodations are required, please contact City Hall prior to the meeting at (402) 331-4343. A copy of the Open Meeting Act is posted in the Council Chamber. Citizens may address the Planning Commission about items not on the agenda under "comments from the floor". Comments should be limited to three minutes. We ask for your cooperation in order to provide for an organized meeting.*



**MEETING MINUTES**  
**CITY OF LA VISTA PLANNING COMMISSION**  
8116 PARK VIEW BOULEVARD, LA VISTA, NE 68128  
P: (402) 593-6400

**THURSDAY, MARCH 16, AT 6:30 P.M.**

The City of La Vista Planning Commission held a meeting on Thursday, March 16, 2023, in the Harold "Andy" Anderson Council Chambers at La Vista City Hall, 8116 Park View Boulevard. Legal notice of the public meeting and hearing were posted, distributed, and published according to Nebraska law. Notice was simultaneously given to all members of the Planning Commission. All proceedings shown were taken while the convened meeting was open to the attendance of the public. The following Planning Commission members were present and absent:

**PRESENT:** Gayle Malmquist, Patrick Coghlan, Josh Frey, Kathleen Alexander, Austin Partridge, John Gahan, and Mike Krzywicki

**ABSENT:** Jason Dale, Mike Circo, and Harold Sargus

**STAFF PRESENT:** Bruce Fountain, Community Development Director; Chris Solberg Deputy Community Development Director; Cale Brodersen, Associate Planner; Meghan Engberg, Permit Technician; Pat Dowse, City Engineer

**Call to Order**

The meeting was called to order by Vice-Chair Alexander at 6:30 p.m. Copies of the agenda and staff reports were made available to the public.

**1. Approval of Meeting Minutes from February 16, 2023**

***Motion:*** Krzywicki moved, seconded by Malmquist, to **approve** the February 16, 2023, minutes.

<b>RESULT:</b>	<b>Motion carried 7-0</b>
<b>MOTION BY:</b>	Krzywicki
<b>SECONDED BY:</b>	Malmquist
<b>AYES:</b>	Coghlan, Gahan, Krzywicki, Malmquist, Partridge, Alexander, Frey
<b>NAYS:</b>	None
<b>ABSTAINED:</b>	None
<b>ABSENT:</b>	Dale, Circo, Sargus

**2. Old Business**

None.

### 3. New Business

#### A. PUD Amendment – Lots 1-3 & Outlot A Southport West Replat Eight – Southport Parkway, LLC

##### i. **Staff Report – Christopher Solberg, Deputy Community Development Director:**

Solberg said that the applicant, Southport Parkway, LLC is requesting a PUD amendment to allow for a commercial development with shared parking on Lots 1-3 and Outlot A of Southport West Replat Eight. The applicant is asking for a site plan amendment that would change the proposed restaurant on the far west side of the development to a drive-thru restaurant. The amendment would also change the west endcap of the existing strip mall building to allow for a drive-thru lane for a financial institution.

Staff reviewed the application and provided a number of comments that the applicant successfully addressed. Staff recommends approval of the PUD Site Plan Amendment for a commercial development on Lots 1-3 Southport West Replat Eight contingent upon satisfactory resolution of the issues stated within the staff report prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and Zoning Ordinance.

##### ii. **Public Hearing:** Jeff Lake gave a presentation showing the development. He pointed out the tenants that have been announced, including PenFed Credit Union on the west endcap of the building, the drive-thru financial institution that is part of the PUD Amendment. He then spoke about Lot 3, where the Panda Express is planning on going, which is also part of the PUD Amendment.

On a site plan, Lake identified the additional lane and design changes for the ATM, and the changes on Lot 3 to accommodate the Panda Express.

Krzywicki asked if there have been any agreements made with nearby parking lots for employees to park.

Lake said that all of Southport West utilizes cross-parking allowed through the PUD and other agreements.

Coghlan inquired about the diagram that showed the bank and cars wrapping around in the teller line and then splitting between the teller line and atm. He asked if cars would also funnel into the same line to leave.

Lake said that they do.

Krzywicki talked about the diagram showing traffic flow in and out of the development.

Lake explained that off of Southport Parkway there is a right-in-only to feed traffic into the site, and that there are 2 egress points going into the shared drive with Embassy Suites.

**Vice-Chair Alexander opened the Public Hearing.**

**Vice-Chair Alexander closed the Public Hearing as no members of the public came forward.**

iii. **Recommendation:** Coghlan moved, seconded by Frey, to recommend **approval**

<b>RESULT:</b>	<b>Motion carried 7-0</b>
<b>MOTION BY:</b>	Coghlan
<b>SECONDED BY:</b>	Frey
<b>AYES:</b>	Coghlan, Malmquist, Partridge, Gahan, Wetuski, Krzywicki,
<b>NAYS:</b>	Alexander
<b>ABSTAINED:</b>	None
<b>ABSENT:</b>	Dale, Circo, Sargus

4. **PUD Amendment – Lot 2 Woodhouse Place and Lots 1 & 2 Woodhouse Place Replat 2 – Woodhouse Auto Family**

i. **Staff Report – Christopher Solberg, Deputy Community Development Director:** Solberg stated that the applicant's application is not ready for Planning Commission review at this time, and that an additional resubmittal is required. Staff is asking Planning Commission to open the public hearing and continue it to the next meeting on April 20<sup>th</sup>.

ii. **Public Hearing**

Alexander opened the public hearing.

iii. **Recommendation:** Gahan moved, seconded by Frey, to recommend continuation of the public hearing to April 20<sup>th</sup>.

<b>RESULT:</b>	<b>Motion carried 7-0</b>
<b>MOTION BY:</b>	Gahan
<b>SECONDED BY:</b>	Frey
<b>AYES:</b>	Coghlan, Malmquist, Partridge, Gahan, Wetuski, Krzywicki,
<b>NAYS:</b>	Alexander
<b>ABSTAINED:</b>	None
<b>ABSENT:</b>	Dale, Circo, Sargus

5. **Report of the Nominating Committee**

Gahan said that they sent an email to the current officers, (Sargus, Alexander, Dale), to see if they would be interested in serving in their same positions and all said yes.

## 6. 2023 Election of Officers

**Recommendation:** Gahan moved, seconded by Frey, to recommend the reelection of Sargus as Chair, Alexander as Vice-Chair and Dale as Secretary for the current term.

<b>RESULT:</b>	Motion carried 7-0
<b>MOTION BY:</b>	Gahan
<b>SECONDED BY:</b>	Frey
<b>AYES:</b>	Coghlan, Malmquist, Partridge, Gahan, Wetuski, Krzywicki,
<b>NAYS:</b>	Alexander
<b>ABSTAINED:</b>	None
<b>ABSENT:</b>	Dale, Circo, Sargus

## 7. Comments from the Floor

None.

## 8. Comments from the Planning Commission

None.

## 9. Comments from the Staff

Fountain said that there will be no meeting on April 6<sup>th</sup>.

## 10. Adjournment

Vice-Chairman Alexander adjourned the meeting at 6:51 p.m.

Reviewed by Planning Commission:

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Planning Commission Secretary

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Planning Commission Chair

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Date

## **AGENDA ITEM 4A**

**PUD Amendment – Lot 2 Woodhouse Place and  
Lots 1 & 2 Woodhouse Place Replat 2 – Woodhouse  
Auto Family**



**CITY OF LA VISTA  
PLANNING DIVISION  
RECOMMENDATION REPORT**

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CASE NUMBERS: PRP23-0002;

FOR HEARING ON: APRIL 20, 2023

REPORT PREPARED ON: MARCH 29, 2023

**I. GENERAL INFORMATION**

**A. APPLICANT(S):**

LB Southwest, LLC  
12325 Emmet Street  
Omaha, NE 68164

**B. PROPERTY OWNERS:**

LB Southwest, LLC  
12325 Emmet Street  
Omaha, NE 68164

**C. LOCATION:** Southwest of the intersection of Giles Road and 144th Street (Highway 50).

**D. LEGAL DESCRIPTION:** Lot 2, Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1.

**E. REQUESTED ACTION(S):** Planned Unit Development (PUD) Site Plan and Ordinance amendment for Woodhouse Place.

**F. EXISTING ZONING AND LAND USE:** C-3 Highway Commercial / Office Park District with a Gateway Corridor District (Overlay District) and a PUD Planned Unit Development District (Overlay District); the property is currently developed as an automotive dealership.

**G. PURPOSE OF REQUEST:** Amendment to PUD Site Plan and Ordinance for an automobile dealership to incorporate a small automotive leasing facility into the site plan and to incorporate the Automotive Rental/Leasing use as permitted within the PUD area.

**H. SIZE OF SITE:** Approximately 30.67 acres.

## **II. BACKGROUND INFORMATION**

### **A. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Business Park	C-1 Shopping Center Commercial District with a Gateway Corridor District (Overlay District)	Vacant
East	Urban Medium Intensity Residential	R-1 Single Family Residential	Single Family Houses
South	Industrial	I-1 Light Industrial with a Gateway Corridor District (Overlay District), I-2 Heavy Industrial	Misc. Industrial Uses
West	Parks, Recreation, and Open Space (Sarpy Co.)	AG Agricultural (Sarpy Co.)	Chalco Hills Recreation Area

### **B. RELEVANT CASE HISTORY:**

1. City Council approved of an amendment to the Plat, the PUD, and the CUP for this project on April 4, 2017.
2. On August 21, 2018 City Council approved of an amendment to the PUD Site Plan and the PUD Ordinance in relation to Site Plan adjustments and signage.

### **C. APPLICABLE REGULATIONS:**

1. Section 5.15 of the Zoning Regulations – PUD Planned Unit Development District (Overlay District)
2. Section 5.13 of the Zoning Regulations – C-3 Highway Commercial / Office Park District

## **III. ANALYSIS**

### **A. COMPREHENSIVE PLAN:**

1. The Future Land Use Map of the La Vista Comprehensive Plan designates the subject property as Regional Commercial.

**B. OTHER PLANS: N/A.**

**C. TRAFFIC AND ACCESS:**

1. The proposed amendments have no expected impacts to the traffic or access aspects related to this development from what was approved with the original plat, PUD, and CUP on April 4, 2017.

**D. UTILITIES:**

1. The property has access to all necessary utilities.

**E. PARKING REQUIREMENTS:**

1. The minimum off-street parking stall requirement for flex space is one space per 500 square feet of gross floor area, Per Section 7.06 of the La Vista Zoning Ordinance. For the proposed buildings on the Woodhouse Place site, this requirement would equate to 228 parking stalls. The current proposed site plan depicts 1,660 parking stalls, well above the initial required amount.

**IV. REVIEW COMMENTS**

- A. The use of "Automotive Rental/Leasing" is not an allowed use within the underlying C-3 Highway Commercial / Office Park Zoning District. As such the use will be required to be allowed through the approval of an amendment to the original PUD Ordinance, approved through the initial approval process of the development. A redlined draft of the proposed PUD Ordinance is provided in the attachments to this report.
- B. The design of the additional building proposed in this request and the site immediately surrounding the building will be reviewed through the City's Architectural Design Review process, and must be substantially complete prior to the issuance of any building permits.

**V. STAFF RECOMMENDATION – PUD AMENDMENT:**

Staff recommends approval of the PUD Amendment as the request is consistent with the Zoning Regulations and the Comprehensive Plan.

**VI. ATTACHMENTS TO REPORT:**

1. Vicinity Map
2. Staff Review Letter
3. Applicant Response Letter
4. Draft amendments to PUD Ordinance
5. PUD Site Plan Map Set

**VII. COPIES OF REPORT SENT TO:**

- A. Paul Cech; LB Southwest, LLC
- B. Rob Vanderveen; Lamp, Rynearson & Associates, Inc.
- C. Public Upon Request

  
Prepared by: Deputy Community Development Director

  
Community Development Director

4/4/23

Date

Giles Road

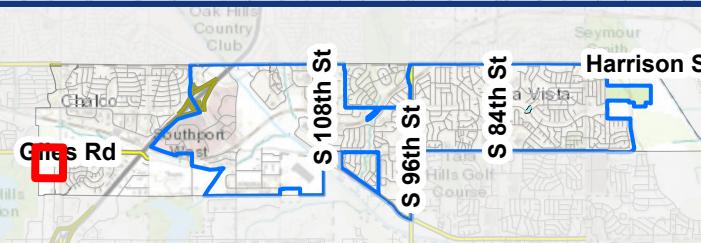
Virginia Street

**Proposed  
Enterprise  
Rental  
Facility  
Location**

S. 144th Street

S. 145th Street

### Vicinity Map - Woodhouse Place PUD Amendment



#### Legend

- Property Lines
- PUD Amendment Boundary





February 22, 2023

Rob Vanderveen  
Lamp Rynearson  
14710 W Dodge Road  
Omaha, NE 68154

RE: Planned Unit Development Amendment – Initial Review Letter  
Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1

Mr. Vanderveen,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

General Comments

1. Please submit an updated schedule of construction, per the requirements of Section 5.15.04.01.
2. In relation to Section 5.15.04.03, please submit all applicable easements and covenants with neighboring property owners, if applicable.
3. In relation to Section 5.15.05.04, please show the point of connection and other pertinent design information for the sanitary sewer.

Please show the means of stormwater conveyance for the proposed project. The locations of any existing and/or proposed drainageways should also be provided (Section 5.15.05.02 (10)).

**City Hall**  
8116 Park View Blvd.  
La Vista, NE 68128-2198  
402.331.4343 [P](#)  
402.331.4375 [F](#)

**Community Development**  
8116 Park View Blvd.  
402.593.6400 [P](#)  
402.593.6445 [F](#)

**Library**  
9110 Giles Rd.  
402.537.3900 [P](#)  
402.537.3902 [F](#)

**Police**  
7701 S. 96th St.  
402.331.1582 [P](#)  
402.331.7210 [F](#)

**Public Works**  
9900 Portal Rd.  
402.331.8927 [P](#)  
402.331.1051 [F](#)

**Recreation**  
8116 Park View Blvd.  
402.331.3455 [P](#)  
402.331.0299 [F](#)

If the area of disturbance is over one (1) acre, you will need to submit for a NPDES grading permit. If the disturbed area is less than one (1) acre in size, construction of stormwater BMPs will still be required as part of the building permit application.

4. As per Section 5.15.05.02 (1), please emphasize the area of disturbance and confirm that there will be no substantial increase of impervious surface, or significant changes to the drainage pattern due to the project. Dependent upon changes in drainage pattern and/or impervious area, the existing Post Construction Stormwater Management Plan (PCSMP) for this site may need to be modified in order to account for the proposed surface drainage.
5. As per Section 5.15.05.02 (5), widths of existing right-of-ways need to be displayed.
6. Per Section 5.15.05.05 a legal description needs to be provided on the PUD Site Plan. The legal description provided needs to be updated to the current legal description for the three (3) lots involved in the PUD Site Plan.
7. The design for the proposed automotive rental/leasing building must be approved through the City's design review process, prior to application for building permits. We have received the application, some preliminary elevations, and some building materials, but are still in need of a method of payment for the application fee of \$1,500 before the submittal can be forwarded to the City's design review architect.
8. As the use of "automotive rental/leasing" is not an allowed use within the C-3 Zoning District, an amendment to the adopting ordinance for the original PUD will need to be conducted as part of this process that would allow the use within the boundaries of the Woodhouse Place PUD District.

#### Landscaping Sheet

1. The landscaping plan is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed.

Please submit 2 full size revised copies of the PUD plans and related documents (along with electronic copies) to the City for further review. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP  
Deputy Community Development Director  
City of La Vista  
[csolberg@cityoflavista.org](mailto:csolberg@cityoflavista.org)  
(402) 593-6402

cc:

Paul Cech, Woodhouse Auto Family  
Bruce Fountain, Community Development Director – City of La Vista  
Cale Brodersen, Associate Planner – City of La Vista  
Pat Dowse, City Engineer – City of La Vista  
Garrett Delgado, Engineer Assistant – City of La Vista

VIA Email

March 28, 2023

14710 W. Dodge Rd., Ste. 100  
Omaha, NE 68154  
[P] 402.496.2498  
[F] 402.496.2730  
LampRynearson.com

Mr. Christopher Solberg, AICP  
Deputy Community Development Director  
City of La Vista  
8116 Park View Blvd.  
La Vista, NE 68128

REFERENCE: Woodhouse Place  
Planned Unit Development (PUD) Amendment  
Comment Response - Initial Review  
Job No. 0116050.01-020

Dear Mr. Solberg:

Submitted herewith are our responses to the City of La Vista's comments from the letter dated February 22, 2023 regarding the Woodhouse Place PUD Amendment for Lot 2 and Replat 1 Lots 1 & 2 Initial Review submittal.

#### GENERAL COMMENTS

1. Please submit an updated schedule of construction, per the requirements of Section 5.15.04.01.

**RESPONSE:** An updated schedule of construction has been included on the PUD Site Plan exhibit. The schedule of construction is listed here as well.

*The following are phase estimated completion dates:*

PHASE 1 - HYUNDAI DEALERSHIP	- SEPTEMBER 1, 2018
RIGHT-OF-WAY	- SEPTEMBER 1, 2018
PHASE 2 - EAST PARKING LOT	- OCTOBER 31, 2018
PHASE 3 - NISSAN DEALERSHIP	- MARCH 1, 2019
PHASE 4 - MAZDA DEALERSHIP	- DECEMBER 31, 2019
PHASE 5 - LINCOLN DEALERSHIP	- MARCH 1, 2020
PHASE 6 - ENTERPRISE RENTAL	- NOVEMBER 1, 2023

2. In relation to Section 5.15.04.03, please submit all applicable easements and covenants with neighboring property owners, if applicable.

**RESPONSE:** The updated PUD site plan includes all easements within the project limits.

3. In relation to Section 5.15.05.04, please show the point of connection and other pertinent design information for the sanitary sewer.

**RESPONSE:** A utility plan has been provided illustrating the schematic sanitary sewer layout.

4. Please show the means of stormwater conveyance for the proposed project. The locations of any existing and/or proposed drainageways should also be provided (Section 5.15.05.02 (10)).

**RESPONSE:** A utility plan and grading plan have been provided illustrating the schematic storm sewer layout and drainageways.

5. If the area of disturbance is over one (1) acre, you will need to submit for a NPDES grading permit. If the disturbed area is less than one (1) acre in size, construction of stormwater BMPs will still be required as part of the building permit application.

**RESPONSE:** Understood.

6. As per Section 5.15.05.02 (1), please emphasize the area of disturbance and confirm that there will be no substantial increase of impervious surface, or significant changes to the drainage pattern due to the project. Dependent upon changes in drainage pattern and/or impervious area, the existing Post Construction Stormwater Management Plan (PCSMP) for this site may need to be modified in order to account for the proposed surface drainage.

**RESPONSE:** The area of disturbance for Phase 6 is indicated on the PUD site plan. No substantial increase of impervious surface or modification of the existing drainage pattern is anticipated.

7. As per Section 5.15.05.02 (5), widths of existing right-of-ways need to be displayed.

**RESPONSE:** All right-of-way widths are shown on the updated PUD site plan.

8. Per Section 5.15.05.05 a legal description needs to be provided on the PUD Site Plan. The legal description provided needs to be updated to the current legal description for the three (3) lots involved in the PUD Site Plan.

**RESPONSE:** The legal description has been updated as indicated.

9. The design for the proposed automotive rental/leasing building must be approved through the City's design review process, prior to application for building permits. We have received the application, some preliminary elevations, and some building materials, but are still in need of a method of payment for the application fee of \$1,500 before the submittal can be forwarded to the City's design review architect.

**RESPONSE:** A \$1,500 check has been provided by the owner.

10. As the use of "automotive rental/leasing" is not an allowed use within the C-3 Zoning District, an amendment to the adopting ordinance for the original PUD will need to be conducted as part of this process that would allow the use within the boundaries of the Woodhouse Place PUD District.

**RESPONSE:** Understood.

#### **LANDSCAPING SHEET**

1. The landscaping plan is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed.

**RESPONSE:** Understood.

Comments were also received from the city's design review process on March 15, 2023 from Dan Kerns. An additional Enterprise Landscaping Plan has been included with this resubmittal. The following are responses to the landscape-related items.

**PUD – LANDSCAPE PLAN**

- a. Significant portions of the proposed plantings are straight line, which is not in compliance with 4.III.F.

**RESPONSE:** The landscaping plan varies plantings within the landscape islands and the perimeter landscaping to the south. The landscaping along 144<sup>th</sup> Street provides screening for the garage doors and is consistent with the current planting arrangement.

- b. No information provided to indicate irrigation IAW 4.III.F.

**RESPONSE:** All landscaped areas will receive irrigation. The irrigation limits are noted on the included Enterprise Landscape Plan.

The following documents are included with this submittal:

1. Revised PUD site plan (2 copies)
2. PUD utility plan (2 copies)
3. PUD grading plan (2 copies)
4. Enterprise landscape plan (2 copies)

Please call if you have any questions or concerns regarding this submittal.

Sincerely,

LAMP RYNEARSON



Rob Vanderveen, P.E.  
Senior Project Engineer

Enclosure

c w/enc:            Paul Cech  
                          Bruce Fountain  
                          Cale Brodersen  
                          Pat Dowse  
                          Garrett Delgado

**ORDINANCE NO. \_\_\_\_\_**

AN ORDINANCE OF THE CITY OF LA VISTA, NEBRASKA, AMMENDING THE ZONING DISTRICT MAP OF THE CITY OF LA VISTA, NEBRASKA; ESTABLISHING STANDARDS AND CONDITIONS FOR DEVELOPMENT UNDER THE FINAL PLANNED UNIT DEVELOPMENT PLAN; TO PROVIDE FOR SEVERABILITY; TO PROVIDE WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA:

Section 1. The Planned Unit Development plan for Woodhouse Place (the "Woodhouse PUD") is hereby adopted for the following described real estate, to wit:

**LEGAL DESCRIPTION**

See Exhibit "A" attached hereto and made a part hereof.

Section 2. The Woodhouse PUD is hereby adopted to provide for the development of planned automotive dealerships that will service not only the City, but also the surrounding market area. The regulations contained in this Ordinance will facilitate development in a planned, orderly fashion so as to protect the public health, safety, and general welfare. All grading, installation of infrastructure, development and build out shall be in strict accordance with the provisions of this Ordinance, except as shall be amended by the City Council in the required manner. The underlying commercial zoning district regulations shall continue to be applicable, except as provided for in this Ordinance and the attached exhibits.

**Section 3. Definitions**

Unless a contrary intent is clearly indicated herein, the following words and phrases shall have the following meanings, regardless of whether or not capitalized:

- A. "Automotive Sales" shall mean the storage and display for sale or lease, and the actual sale or lease, of new or used motor vehicles, or any type of trailer (provided the trailer is unoccupied) at any one time, and where repair or body work is incidental to the operation of the new or used motor vehicle sales or leasing operations. Automobile sales shall includes all motor vehicle retail sales and leases including cars, SUV's, trucks, vans, recreational vehicles, boats, motorcycles or other similar motorized transportation vehicles.
- B. "Developer" shall mean LB Southwest, LLC, their successors and assigns.
- C. "Gateway Corridor District" or "La Vista Gateway Corridor District" shall mean the City's overlay zoning district establishing basic site and building development criteria to be implemented within the boundaries of the overlay district.

- D. "Open Space" shall mean anything on the site except buildings, parking lot and vehicular circulation, generally pervious, but may include well landscaped pedestrian places, pools, pool decks and roof gardens.
- E. "Woodhouse PUD" shall mean the planned unit development that is subject to this Ordinance, as developed and approved, that outlines certain provisions for the development of the Subdivision and its uses. Such plan shall consist of the final plat, design guidelines, landscaping, etc.
- F. "Plat" or "the Plat," shall mean the final plat of the Subdivision approved by the City Council or an administrative plat approved by staff.
- G. "Woodhouse Place Design Guidelines" shall mean the specific guidelines jointly developed, agreed to and amended by Developer and City for the Subdivision for the purpose, among others, of creating cohesiveness and ensure quality of materials, aesthetics and maintenance upon which all tenants and owners can rely and to ensure view continuity and creation of a sense of place through the use of common elements of site and architecture. A copy of the Woodhouse Place Design Guidelines is attached to this Woodhouse PUD as Exhibit "C".
- H. "Subdivision" shall mean the 30.67 acres of land described in Exhibit "A" hereto, to be known as "Woodhouse Place."

#### Section 4. Parcel Identification Map

Attached hereto and made a part of Woodhouse PUD for parcel delineation is the Parcel Identification Map for the Woodhouse PUD marked as Exhibit "B".

#### Section 5. Conceptual Site Plan

A conceptual site plan for each parcel shall be submitted to the City for approval prior to any lot development within said parcel.

#### Section 6. Allowed Uses

Unless otherwise provided in this Ordinance, all Permitted and Permitted Conditional Uses allowed within the C-3 Highway Commercial/Office Park District shall be allowed within the Woodhouse Place PUD area, except as modified below:

- A. The following uses shall be allowed outright:
  - i. Automotive Rental/Leasing

#### Section 76. Building Design Guidelines and Criteria

A copy of the Woodhouse Place Design Guidelines in the form approved and amended by the City is attached to this Woodhouse PUD as Exhibit "C". All applications shall adhere to requirements of the approved Woodhouse PUD and Design Guidelines. Prior to issuance of a building permit, the City, Developer and the applicant shall have mutually agreed upon a specific design plan that complies with such criteria. The Woodhouse Place Design Guidelines shall take

the place of Appendix A, B, and C of the City's Commercial Building Design Guide and Criteria dated September 17, 2013.

## Section 78. Conditions

All uses within the Subdivision shall adhere to the underlying zoning district except as herein provided.

### A. General Conditions

In addition, the following general site plan criteria shall be integrated into and made part of the Woodhouse PUD.

- i. All subdivisions, public streets, public street rights-of-way and general development shall adhere to the standards and design criteria set forth in the La Vista Subdivision Regulations and the most current design standards adopted by the City of La Vista pertaining thereto unless otherwise stated within this Woodhouse PUD and Woodhouse Place Design Guidelines.
- ii. Unless otherwise specified herein, the development of the Woodhouse PUD shall comply with the applicable La Vista Zoning District Regulations or any other applicable City Codes.

### B. Land Use Design Criteria

Unless provided otherwise in this Woodhouse PUD, all general use regulations, performance standards and provisions set forth in the La Vista Zoning Ordinance for the appropriate commercial zoning district shall apply to any development within Lots 1 and 2Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One. The negative elements of such uses as loading docks, heating, ventilation, or air conditioning (HVAC) units, or similar electrical or mechanical appurtenances shall be designed to be screened and buffered from view by the general public through the use of architectural features or earth berthing and landscaping.

- i. The intent of the design and layout of Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat OneLots 1 and 2, Woodhouse Place is to develop the site for motor vehicle sale and lease uses, with service and repair as an accessory use.
  - a. Building Height. Permitted building heights shall be the same as those listed in the C-3 Highway Commercial / Office Park District regulations unless otherwise approved by the City Council as part of a PUD Plan.
  - b. Building Setback. Building setbacks shall be the same as those listed in the C-3 Highway Commercial / Office Park District regulations unless otherwise approved by the City Council as part of a PUD Plan.
  - c. Landscaping. Landscaping along Highway 50 (South 144<sup>th</sup> Street) and Giles Road and throughout the Subdivision shall be consistent with the PUD Site Plan map set, Exhibit "B" and the Woodhouse

Place Design Guidelines, Exhibit "C". A complete and detailed landscape plan is required prior to building permit approval to assure compliance with the vision of Woodhouse Place and its approved guidelines.

d. Signage. All signs identifying the project may be permitted with approval of a sign permit based upon the adopted sign regulations except as modified herein.

C. Woodhouse Place Design Guidelines

The Woodhouse Place Design Guidelines take the place of Gateway Corridor District Design Guideline dated September 17, 2013.

D. Access and Off-Street Parking

i. Access. Driveways shall be located so that no undue interference with the free movement of road traffic will result, to provide the required sight distance, and to provide the most-favorable driveway grade. Access points within the development shall be limited to what is shown on the final plat and subdivision agreement. Any deviation from this shall require the approval of the City.

ii. Off-Street Parking. Parking on lots in Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One Lots 1 and 2 should be provided based on the aggregate ratio of one (1) off-street parking spaces per five hundred (500) square feet of gross floor area of improvements constructed on each lot, separate from those spaces dedicated to automotive sales inventory, unless off-site/public parking is utilized with approval of the city.

E. Signage

All signs may be permitted with approval of a sign permit based upon the adopted sign regulations, except as modified herein. To the extent that the provisions of Woodhouse PUD conflict with or are more restrictive than similar provisions provided in the La Vista Zoning Ordinance, the provisions of the Woodhouse PUD shall control.

This Ordinance recognizes that because of the size and scope of the project, and because access will be obtained to the development via large public arterial streets, the project has an extraordinary need for flexibility in the signage regulations applicable thereto. See the PUD Site Plan map set, Exhibit "B", for proposed site signage approximate locations.

i. Center Identification Signs. Free standing buildings on Lot 1 may be allowed to advertise on one Center Identification Sign as depicted on Lot 2 of the PUD Site Plan.

ii. Monument Signs. Free-standing buildings on Lots 1 and 2 Woodhouse Place Replat 1 may be allowed to advertise on Monument Signs as depicted on Lot 2 Woodhouse Place of the PUD Site Plan. The overall development shall be limited to no more than four monument signs, one for each building

- located on Lots 1 and 2 Woodhouse Place as depicted on the PUD Site Plan. Monument signs shall not exceed twenty-one (21) feet in height.
- iii. On-Site Directional Signs. On-Site Directional Signs, such as signs indicating exits, loading areas and parking areas, shall be consistent in design and color, or incorporate aesthetic features compatible with the architecture of the building, and shall not exceed six (6) square feet of sign area per sign. Freestanding On-Site Directional Signs shall not exceed three (3) feet in height.
- iv. Wall Signs. Free-standing buildings on Lot 1s and 2 Woodhouse Place Replat 1 are allowed a total of 2.5 square feet of wall signs per lineal foot of façade width on facades with frontage along a right-of-way to a maximum of 600 sq.ft.

Section 89. Severability Clause. If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this ordinance. The Mayor and City Council of the City of La Vista hereby declare that it would have passed this ordinance and each section, subsection, sentence clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

Section 910. That this Ordinance shall be in full force and effect after its passage, approval, and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 16<sup>TH</sup> DAY OF MAY, 2023.

CITY OF LA VISTA

ATTEST:

---

Douglas Kindig, Mayor

---

Pamela A. Buethe, CMC  
City Clerk

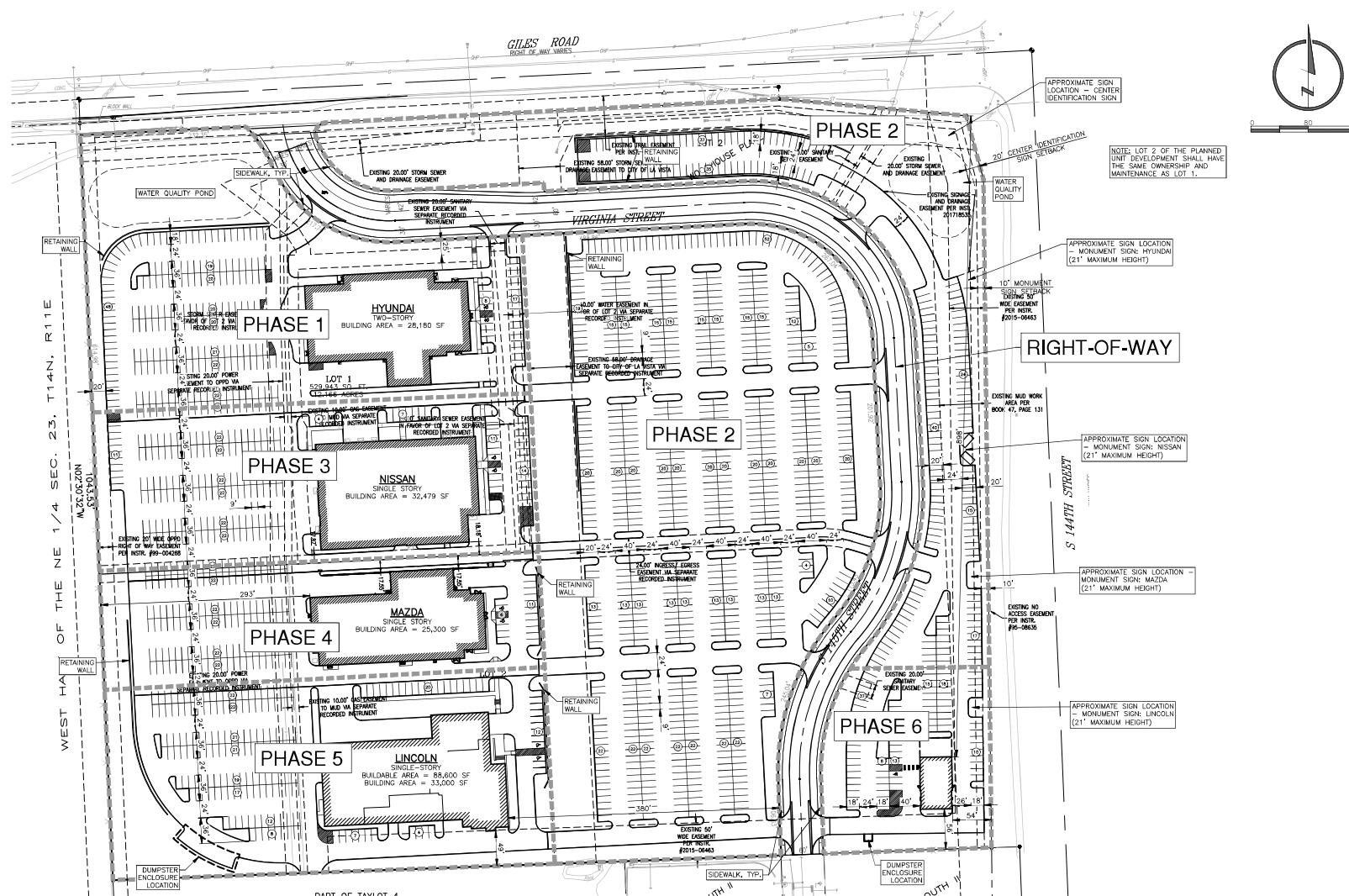


EXHIBIT A

| Lot 2 Woodhouse Place and Lots 1 and 2, Woodhouse Place Replat 1 located in the N ½, NE ¼, Section 23, Township 14 North, Range 11 East of the 6th P.M. Sarpy County, Nebraska.

**EXHIBIT B**

EXHIBIT C



第2章 项目管理

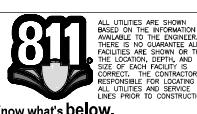
THE FOLLOWING ARE ESTIMATED PHASE COMPLETION DATES:

PHASE 1 - HYUNDAI DEALERSHIP	- SEPTEMBER 1, 2019
RIGHT-OF-WAY	- SEPTEMBER 1, 2019
PHASE 2 - EAST PARKING LOT	- OCTOBER 31, 2019
PHASE 3 - NISSAN DEALERSHIP	- MARCH 1, 2020
PHASE 4 - MAZDA DEALERSHIP	- DECEMBER 31, 2020
PHASE 5 - LINCOLN DEALERSHIP	- MARCH 1, 2020

#### ANSWERABLE QUESTIONS

ACCESSIBLE STALLS  
REPLAT 1, LOTS 1 AND 2:  
ACCESSIBLE STALLS PROVIDED: 4  
VAN ACCESSIBLE STALLS PROVIDED : 4  
TOTAL ACCESSIBLE STALLS PROVIDED: 8  
  
ACCESSIBLE STALLS REQUIRED: 7 (1 VAN) PER SECTION 7.08 BASED  
ON 228 CUSTOMER/EMPLOYEE STALLS REQUIRED FOR BUILDING  
SQUARE FOOTAGE. REMAINDER OF PARKING STALLS ARE VEHICLE  
STALLS.

STORAGE OR DISPLAY ONLY.  
LOT 2:  
ACCESsible STALLs PROVIDED: 0  
VAN ACCESsible STALLs PROVIDED: 1  
TOTAL ACCESsible STALLs PROVIDED: 1  
  
ACCESsible STALLs REQUIRED: 1 (1 VAn) PER SECTION 7.08 BASED  
ON 7 CUSTOMER/EMPLOYEE STALLs REQUIRED FOR BUILDING  
SQUARE FOOTAGE. REMAINDER OF PARKING STALLs ARE VEHICLE



Know what's below.  
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REMARKS	RECORDED BY
	RG
DATE	03-28-2023
JOB NUMBER-PAIRS	01161010-01-003
BOOK AND PAGE	

402.496.2498 | P  
402.496.2730 | F

Dodge Road, Suite 100  
Omaha, Nebraska 68154-2027  
[ccc.com](http://www.ccc.com)

14710 West Omaha, Nebraska 68136  
www.LRA-International.com

LAMP RYNEA  
& ASSOCIATES  
WOODHOUSE PLACE  
SARPY COUNTY, NEBRASKA

2

# PLANNED UNIT DEVELOPMENT SITE PLAN

P

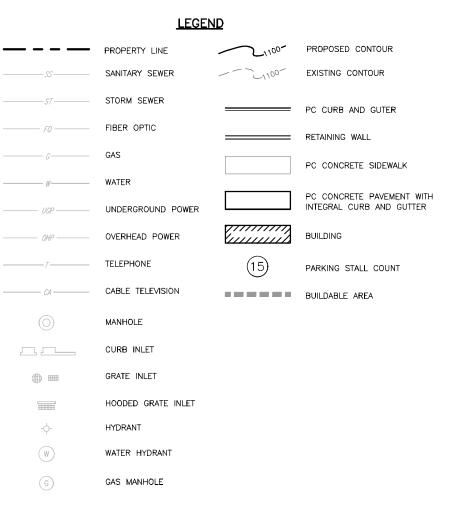
MP RYNEARSON - ENGINEERS

## PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

14 FEET

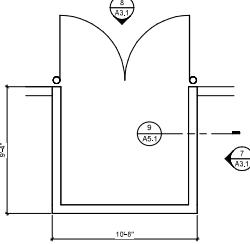
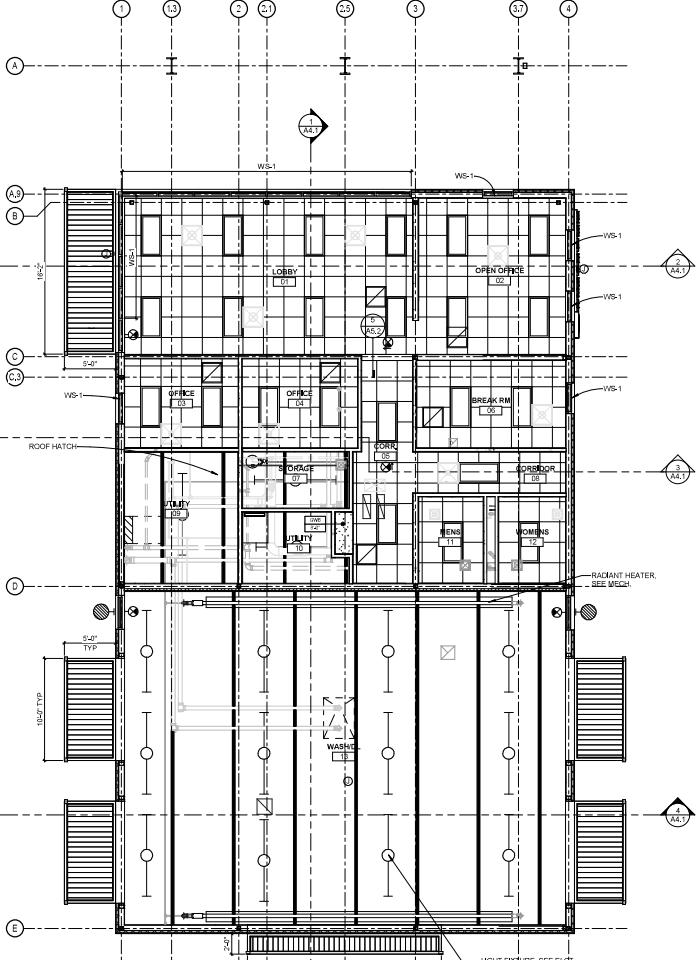
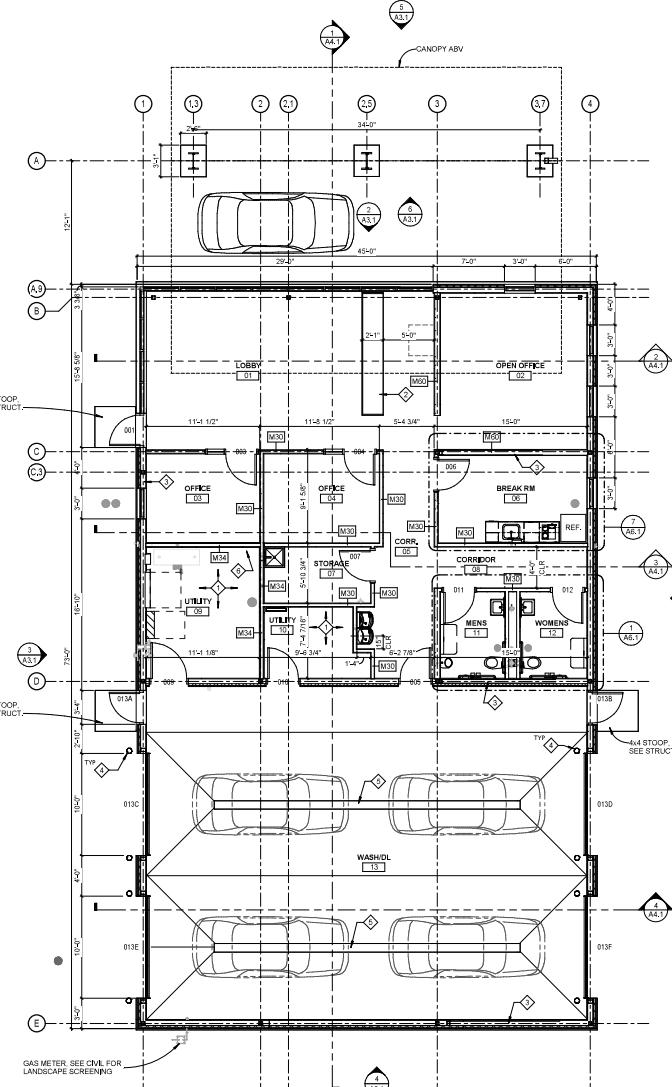
1 OF 1



ROOM NO.	ROOM NAME	FLOOR	BASE	CEILING MAT		WALL MATERIAL	N	S	E	W	REMARKS
				W	E						
01	LOBBY	T-1	AC-1	-	P-1	P-1	NOTE 1				1: VINYL WALL GRAPHIC BY TENANT,
02	OPEN OFFICE	CPT-1	RB-1	AC-1	P-1	P-1	P-1				
03	OFFICE	CPT-1	RB-1	AC-1	P-1	P-1	P-1				
04	OFFICE	CPT-1	RB-1	AC-1	P-1	P-1	P-1				
05	OFFICE	T-1	AC-1	-	P-1	P-1	P-1				
06	BREAK RM	VCT-1	RB-1	AC-1	FRR-1/R-2	FRR-1/R-2	FRR-1/R-2	FRR-1/R-2	PROVIDE FRP UP TO 42" AFF. PAINT ABOVE		
07	STORAGE	ST	RB-1	AC-1	M-1/R-2	P-1	P-1	P-1	P-1/R-2	PROVIDE VERTICAL 4X8 FRP SHEET AT MCP SINK	
08	CORRIDOR	T-1	T-1	AC-1	-	P-1	P-1	P-1	P-1		CORNER
09	UTILITY	SC	RB-1	EXP	PVC	PVC	PVC				
10	WASH. STATION	SC	RB-1	EXP	PVC	PVC	PVC				
11	MEN'S	T-2	T-2	AC-1	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2		
12	WOMEN'S	T-2	T-2	AC-1	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2		
13	WASH/HDL	SC	-	EXP	PVC	PVC	PVC	PVC	PVC		

**RCP FINISHES NOTES**

1. CEILING HEIGHT = 84" AFF. UNLESS NOTED OTHERWISE.
2. EXPOSED STRUCTURE TO BE PAINTED P-4.
3. ALL CEILING LIGHTS AND FAKES SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.
4. ALL CEILING DEVICES AND FIXTURES SHALL BE CENTERED IN THE CEILING TILE UNLESS NOTED OTHERWISE.
5. IN AREAS WITH AN EXPOSED CEILING, COORDINATE WITH ALL EQUIPMENT, DEVICES, AND FIXTURES TO CLEAR AND ORDERLY APPEARANCE.
6. REFER TO ROOM FINISH SCHEDULE FOR CEILING TYPES.
7. WS-1: ROLLER WINDOW SHADE, SEE SPECS.

**3 PLAN - DUMPSTER ENCLOSURE****2 FIRST FLOOR REFLECTED CEILING PLAN****1 FIRST FLOOR PLAN****FLOOR PLAN GENERAL NOTES**

1. ALL DIMENSIONS ARE TO EXTERIOR FACE OF METAL PANEL.
2. INTERIOR FACE OF GYPSUM WALL BOARD.
3. TOP FLOOR NUMBER INDICATES ROOF PLANE.
4. OPENINGS: NOMINAL OPENING WIDTH.
5. COORDINATE W/ OWNER'S CARWASH VENDOR.

FLOOR PLAN NOTES	
#	NOTE
1	REPLACE (1) LAYER OSB W/(1) LAYER 1/2" OSB
2	CASEWORK BY OWNER
3	DOOR: 36" X 80" IN. SEE STRUCT.
4	8" GALVANIZED PIPE BOLLARD, FILL WITH CONCRETE AND CAP.
5	SEE CONC. SLAB TO GRAIN
6	ROOF HATCH & LADDER

STRUCTURAL ENGINEER  
LANDS STRUCTURAL GROUP  
1012 S 40TH ST, STE 302  
OMAHA, NE 68102  
V-402 345 7271  
lands@lands.com

MFG PLUMBER  
MCGRAWSON ENGINEERING  
4840 N 118TH ST  
OMAHA, NE 68154  
V-402 499 2488  
mcgrawson@mcgrawson.com

DRW. BUILDER  
LAMP INCORPORATED  
147 10 W DODGE RD #100  
OMAHA, NE 68154  
V-402 499 2488  
lamp.com

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION
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WOODHOUSE PLACE - ENTERPRISE

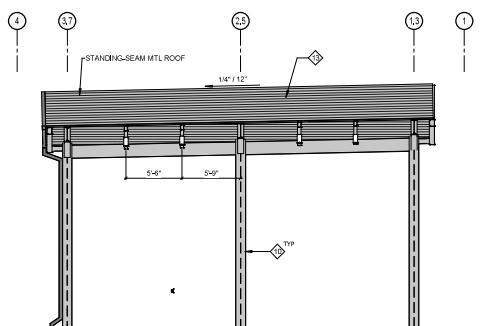
PROJECT: 2041 DATE: 5/07/2023

FIRST FLOOR PLAN,  
REFLECTED CEILING  
PLAN, & ROOM FINISH  
SCHEDULE

NORTH  
A1.1

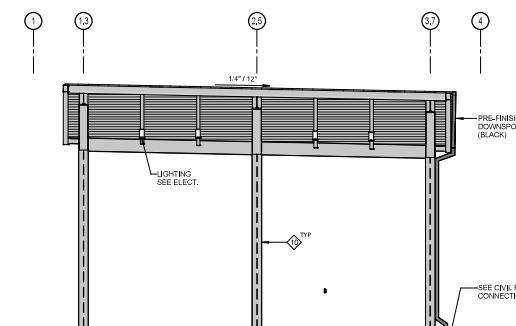
## ELEVATION NOTES

◆	DESCRIPTION	MFR	PRODUCT	COLOR	SIZE	COMMENTS
1	METAL WALL PANEL	PAO-CLAD	FLUSH WALL PANELS	MATTE BLACK	12"	22 GAUGE STEEL CENTRIA IV SERIES NOT APPROVED ALTERNATE MANUFACTURER
2	METAL WALL PANEL	PAO-CLAD	BOX RIB WALL PANELS	GRAY	12"	HORIZONTAL
3	ALUMINUM STOREFRONT	TUBELITE	T1400 STOREFRONT	BLACK, CLASSI ANODIZED	4.5" DEPTH 2' SIGHTLINE	THERMALLY BROKEN
4	PRE-ENGINEERED METAL CANOPY	MAPES	SUPER LUMIDECK CANTILEVER	BLACK	40' DEPTH, SEE PLAN FOR LENGTHS, 2'-0" DEPTH AT B:	
5	OVERHEAD DOOR	OVERHEAD DOOR CO.	MODEL 521 ALUM. DOOR	BLACK POWDER COAT	AS SCHEDULED	INSULATED GLASS WITH SOLID BOTTOM PANELS (BLACK)
6	CONC. STEM/WALL	BY G.C.				FORMED IN
7	HEET MTL CAP FLASHING	PAO-CLAD		BLACK		PRE-FINISHED
8	GLAZING	VITRO	SOLARIAN 80 (2) SOLARGRAY + CLEAR	SOLARGRAY	1" INSULATED	BLACK SPACERS.
9	RTU SCREEN	CITY SCAPES	ENVISOR	SILVER SATIN		DIRECT-ATTACHED RTU SCREEN
10	PAINT	TNEMEC	TOPCOAT: FLUONSERIES 102	BLACK		ADVANCED THERMOSET SOLUTION FLUORPOLYMER
11	STEEL PIPE BOLLARD	BY G.C.		PAINT BLACK (TNEMEC)	6' PIPE, GALVANIZED	
12	GROUND-FACE CMU	ECHELON	CORDOVA STONE	MIDNIGHT	8'X8'x16"	GROUT: PRISM PH10 SLATE GREY, WITH SLOPED COPING UNIT (CS)
13	STANDING SEAM METAL ROOF	HOLCIUM ELEVATE	UNA-CLAD UC-2	BLACK		24 GA



5 CANOPY ELEVATION - NORTH

3/16" = 1'-0"



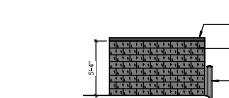
6 CANOPY ELEVATION - SOUTH

3/16" = 1'-0"



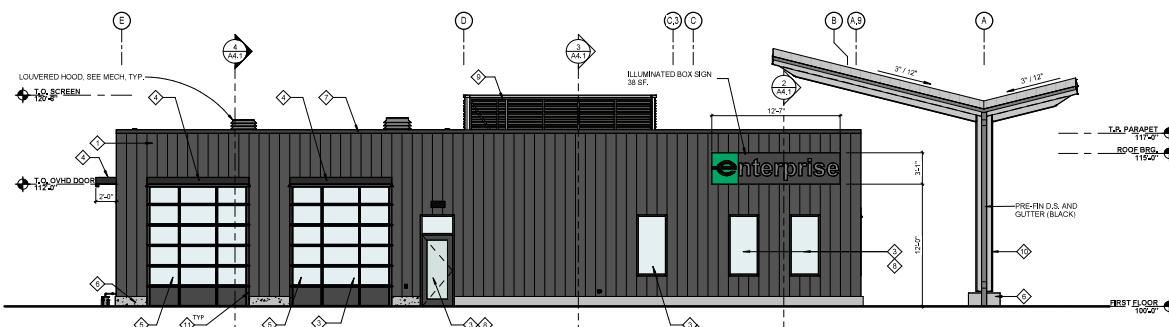
8 TRASH ENCL. - NORTH

3/16" = 1'-0"



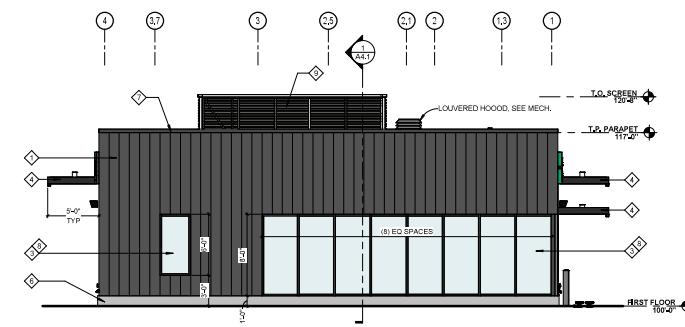
7 TYP. TRASH ENCLOSURE ELEVATION

3/16" = 1'-0"



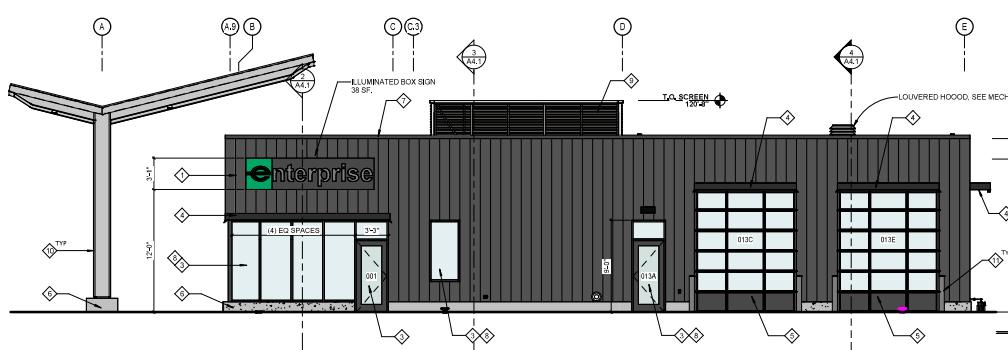
1 EAST ELEVATION

3/16" = 1'-0"



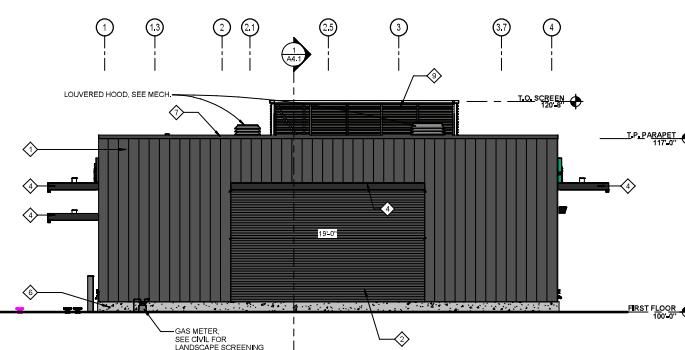
2 NORTH ELEVATION

3/16" = 1'-0"



3 WEST ELEVATION

3/16" = 1'-0"



4 SOUTH ELEVATION

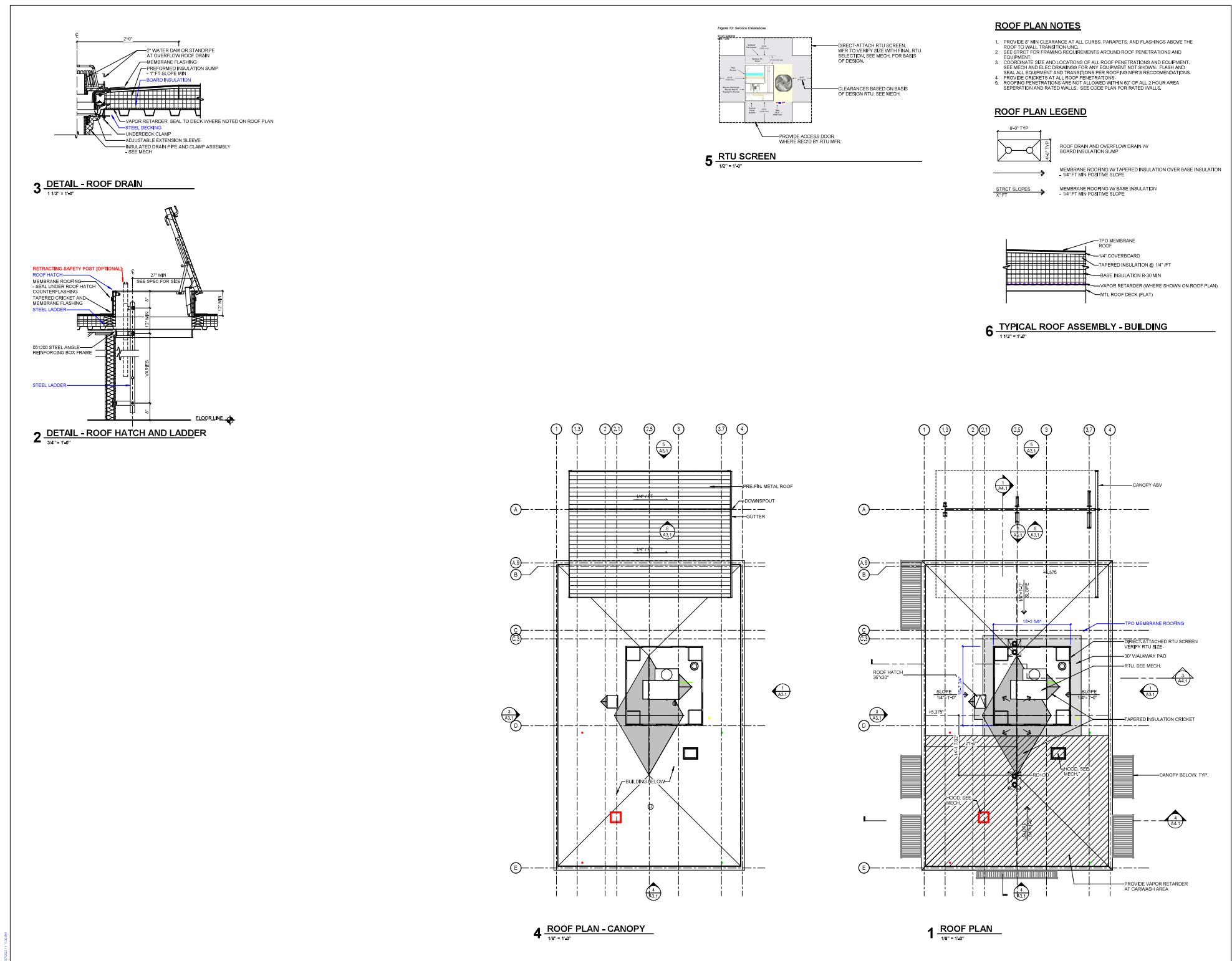
3/16" = 1'-0"

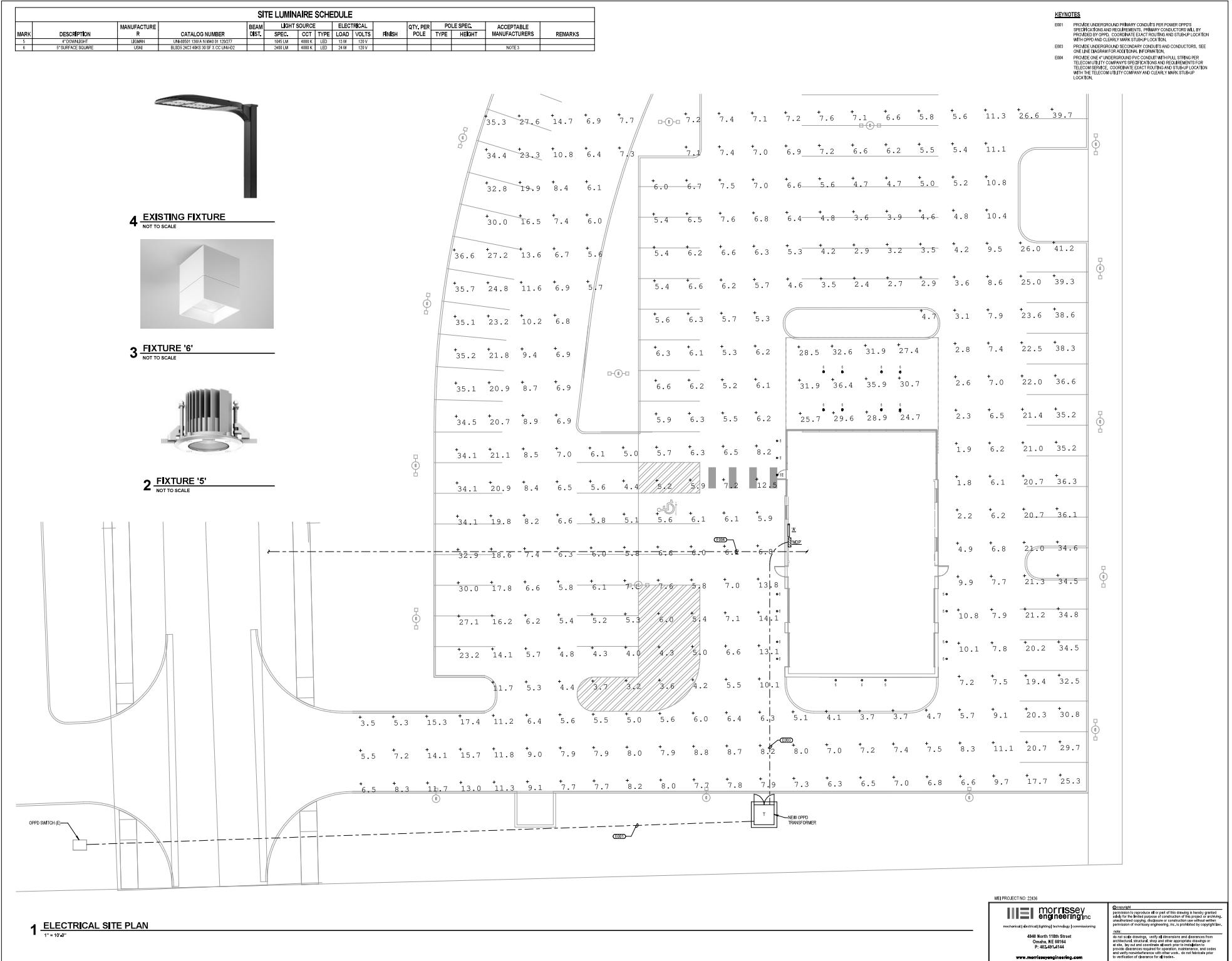
REVISIONS SCHEDULE	MARK	DATE	DESCRIPTION

WOODHOUSE PLACE -  
ENTERPRISEPROJECT: 2041 DATE: 5/07/2023  
801 JONES STREET, OMAHA, NE 68102

DRAFT

BUILDING  
ELEVATIONS





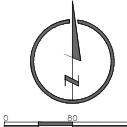
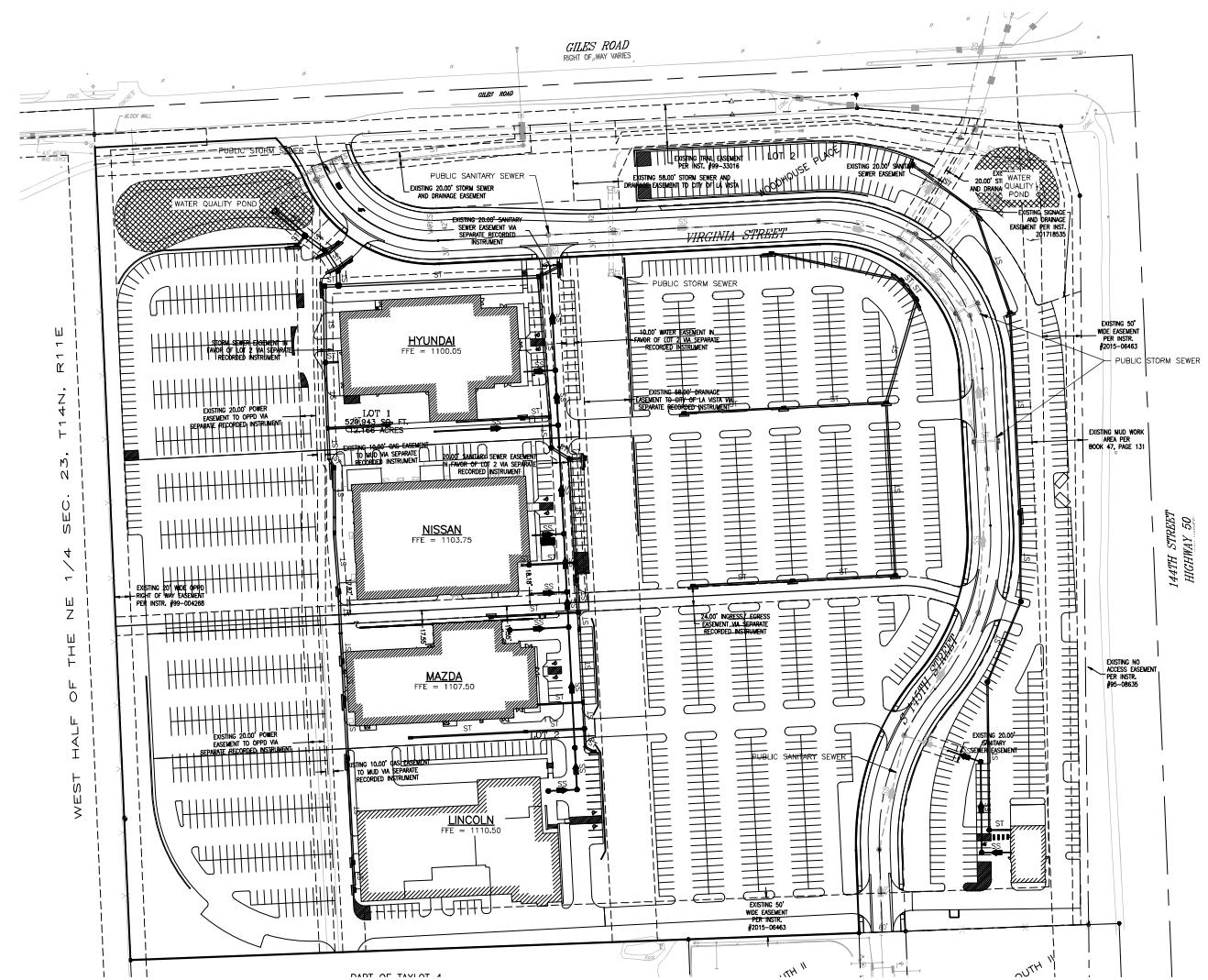




811

**Know what's below.  
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112 1 11 SEC 23. T14N, R11E



LEGEND	
NE	PROPOSED CONTOUR
WER	EXISTING CONTOUR
R	PC CURB AND GUTTER
	RETAINING WALL
	PC CONCRETE SIDEWALK
ID POWER	PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER
OWER	BUILDING
	(15) PARKING STALL COUNT
ISION	BUILDABLE AREA
	SS PROPOSED SANITARY SEWER
	ST PROPOSED STORM SEWER
	● PROPOSED MANHOLE
TE INLET	PROPOSED F.E.S.
	PROPOSED CURB INLET (BY OTHERS)
ANT	PROPOSED WATER QUALITY POND
E	

## PLANNED UNIT DEVELOPMENT UTILITY PLAN

## PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

1 OF 1

---

SHEET

1

1 OF 1

## **AGENDA ITEM 4B**

**Zoning Map Amendment – Lots 1-3 Mayfair 2nd  
Addition Replat Seven and Lot 2 Mayfair 2nd  
Addition Replat Three (northeast of the intersection  
of S 99th Street and Hillcrest Plaza) - Hubbell  
Development Services, Inc.**



**CITY OF LA VISTA  
PLANNING DIVISION  
RECOMMENDATION REPORT**

---

CASE NUMBERS: PRZ23-0001;

FOR HEARING ON: APRIL 20, 2023  
REPORT PREPARED ON: APRIL 12, 2023

**I. GENERAL INFORMATION**

**A. APPLICANT(S):**

Hubbell Development Services  
Attn: Josh Vickery  
9719 Giles Road  
La Vista, NE 68128

**B. PROPERTY OWNER:**

One Mayfair Place LLC  
12408 S 36th Street  
Bellevue, NE 68005

Lazlo's La Vista Property Holdings LLC  
Attn: Eric Schafer  
729 Q Street  
Lincoln, NE 68508

**C. LOCATION:** Generally located northeast of the intersection of 99<sup>th</sup> Street and Hillcrest Plaza.

**D. LEGAL DESCRIPTION:** Lots 1-3 Mayfair 2nd Addition Replat Seven and Lot 2 Mayfair 2nd Addition Replat Three.

**E. REQUESTED ACTION(S):** Approval of an amendment to the Official Zoning Map to rezone Lots 1-3 Mayfair 2nd Addition Replat Seven and Lot 2 Mayfair 2nd Addition Replat Three from C-1 Shopping Center Commercial and Gateway Corridor Overlay District (GWC) to R-3 High-Density Residential, Planned Unit Development Overlay District (PUD), and Gateway Corridor Overlay District (GWC).

**F. EXISTING ZONING AND LAND USE:** C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District). This property is currently vacant.

**G. PURPOSE OF REQUEST:** Applicant is seeking to construct a multifamily development consisting of a mixture of multi-family apartment buildings, multi-plex residential buildings, and townhome-style residential units. The site plan, unit counts, conditions of operation, and other aspects of the proposed development will be

analyzed during the review processes related to the required PUD,CUP, and Replat actions described in Section IV (A) of this report.

**H. SIZE OF SITE:** Approximately 15.75 acres.

## **II. BACKGROUND INFORMATION**

### **A. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Urban Medium Intensity Residential	R-1 Single-Family Residential	Mayfair Residential Subdivision
East	Urban High Intensity Residential	R-3 High-Density Residential, PUD, and Gateway Corridor District (Overlay District).  C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District).	Cedarhurst Senior Living  Primrose Childcare
South	Urban Commercial	C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District).	Culver's, Kathol P.C. office building, Swimtastic Swim School, Five Points Bank
West	Urban Medium Intensity Residential	R-1 Single-Family Residential	Mayfair Residential Subdivision

### **B. RELEVANT CASE HISTORY:**

1. Mayfair 2<sup>nd</sup> Addition Replat Three was approved by City Council on September 19, 2006.
2. Mayfair 2<sup>nd</sup> Addition Replat Seven was approved by City Council on October 18, 2016.
3. On December 20, 2022 the City Council of the City of La Vista approved a Comprehensive Plan Future Land Use Map amendment in relation to the approval of the La Vista Land Use Plan and Market Study. The Future Land Use Map amendment changed the future land use designation of the

properties that are the subject of this rezoning request from Commercial to Urban High Intensity Residential.

**C. APPLICABLE REGULATIONS:**

1. Section 5.08 of the City of La Vista Zoning Ordinance – R-3 High Density Residential
2. Section 5.15 of the City of La Vista Zoning Ordinance – PUD Planned Unit Development District (Overlay District)
3. Section 5.17 of the City of La Vista Zoning Ordinance – Gateway Corridor District (Overlay District)

**III. ANALYSIS**

**A. COMPREHENSIVE PLAN:**

1. The Future Land Use Map of the La Vista Comprehensive Plan designates this property as Urban High Intensity Residential.
2. The proposed project will meet Policy Live-2.2 of the La Vista Comprehensive Plan which reads: "Promote the development of housing types and supportive programs for people of retirement age, allowing residents to age in place with access to daily services." This policy directly promotes Goal 2 of the Live Long category of the Comprehensive Plan, which reads: "Maintain the balance of diverse, high-quality housing that appeals to people of varying backgrounds, incomes and abilities."

**B. OTHER PLANS: N/A.**

**C. TRAFFIC AND ACCESS:**

1. The proposed development would have two driveway connections, one on 99<sup>th</sup> Street and another onto Hillcrest Plaza. Another connection, through an existing easement on the Cedarhurst Senior Living development property, provides access to Brentwood Drive.
2. A traffic impact analysis will be required as part of the PUD/CUP/Replat processes to determine the need for any traffic-related infrastructure investments.

**D. UTILITIES:**

1. The property has access to all necessary utilities.

**E. PARKING REQUIREMENTS:**

1. The minimum off-street parking stall requirements for the proposed development will be analyzed during the review process related to the required PUD/CUP/Replat actions.

**IV. REVIEW COMMENTS:**

A. Beyond this Zoning Map Amendment, applications and approval of the following will need to occur for this development prior to the issuance of building permits and start of construction:

1. Planned Unit Development Site Plan;
2. Conditional Use Permit for multiple-family dwellings;
3. Replat;
4. Subdivision Agreement;
5. Building Design Review.

**V. STAFF RECOMMENDATION – ZONING MAP AMENDMENT:**

Staff recommends approval of the Zoning Map Amendment, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a PUD Site Plan, Conditional Use Permit, and approval and recording of the final replat and subdivision agreement.

**VI. ATTACHMENTS TO REPORT:**

A. Vicinity Map – Zoning Map Amendment  
B. Updated Zoning Map

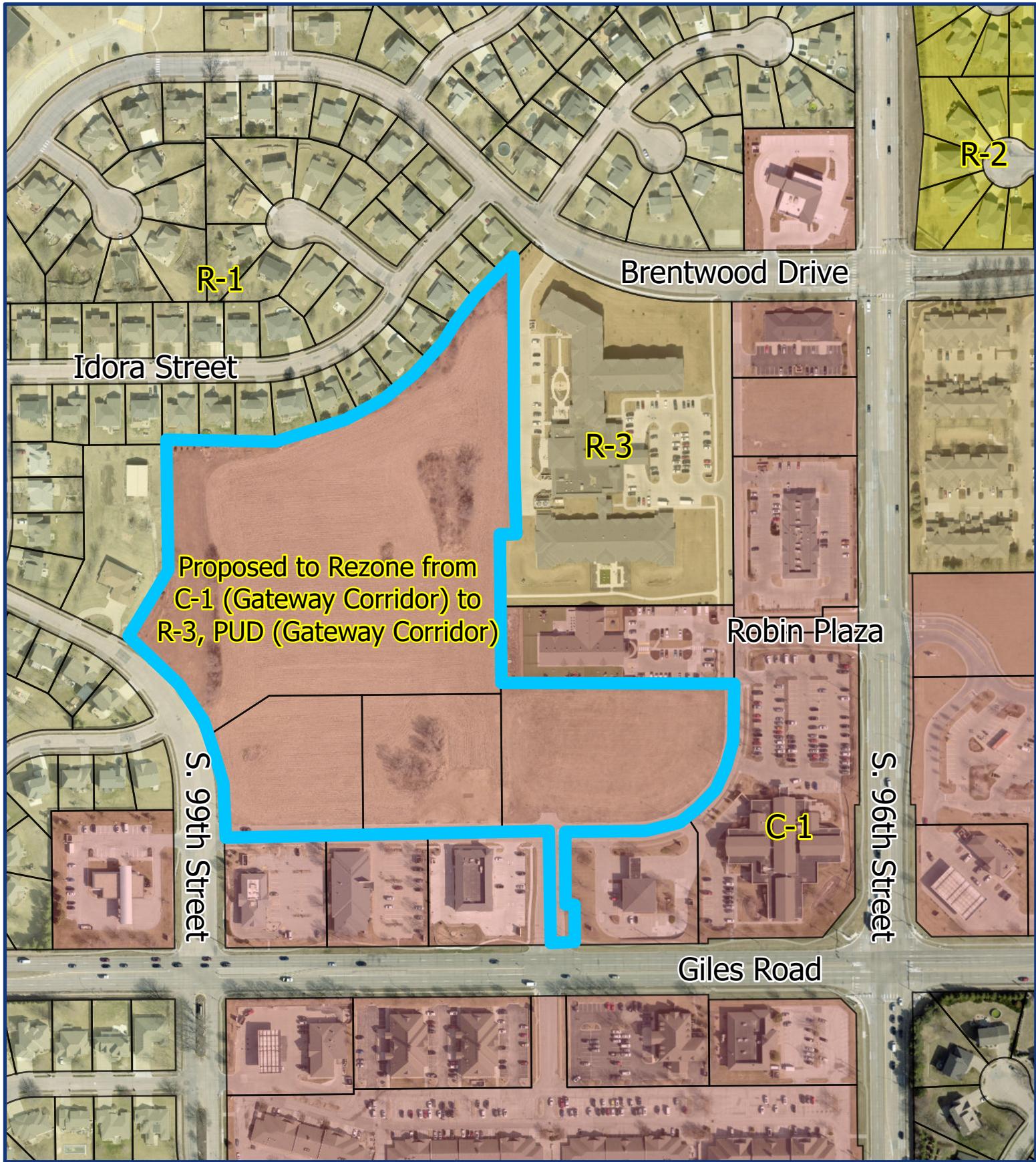
**VII. COPIES OF THE REPORT SENT TO:**

A. Josh Vickery, Hubbell Development Services  
B. Trevor Veskrna, Thompson, Dreessen & Dorner, Inc.  
C. Public Upon Request

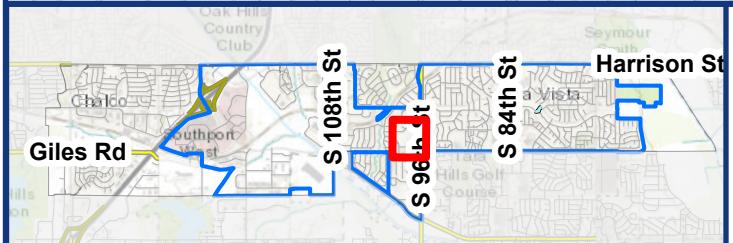
  
Prepared by: Deputy Community Development Director

  
Community Development Director

4/14/23  
Date



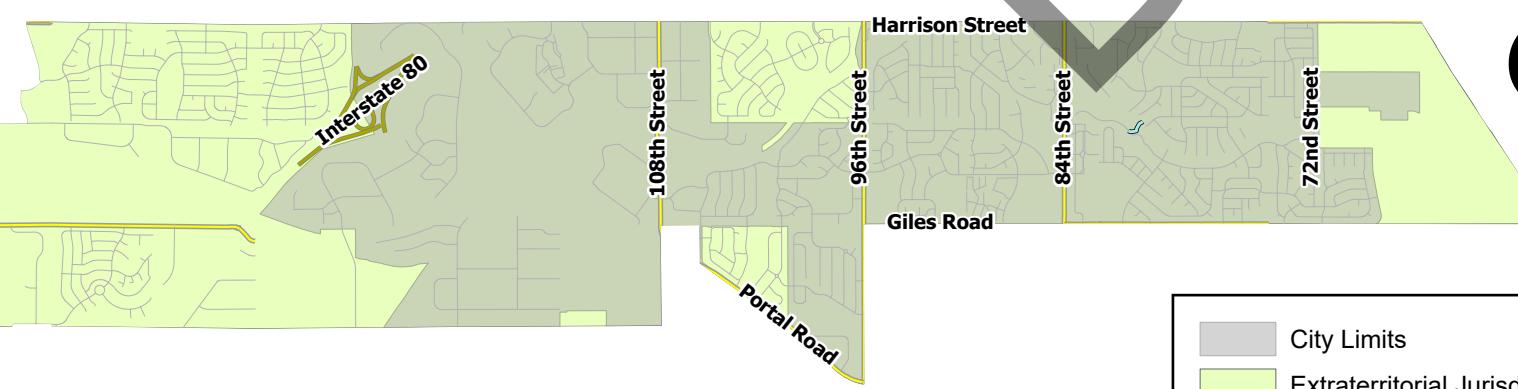
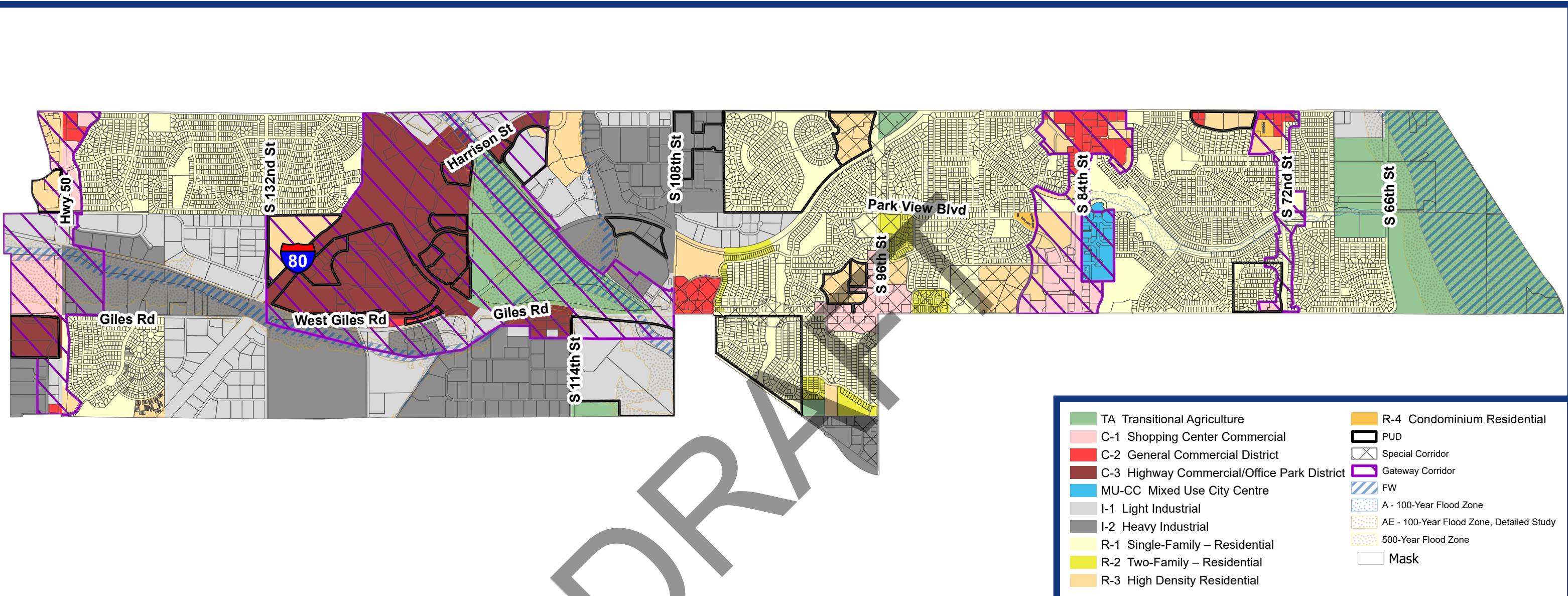
**Vicinity Map - Hubbell Zoning Map Amendment Application**



### Legend

- Property Lines
- Rezoning Boundary





4/14/2023  
Drawn By: CB



**City of La Vista  
Official Zoning Map  
Adopted December 18, 2018  
Updated \_\_\_\_\_, 2023  
Ordinance Number \_\_\_\_\_**