

**CITY OF LA VISTA**  
**MAYOR AND CITY COUNCIL REPORT**  
**JULY 15, 2014 AGENDA**

<b>Subject:</b>	<b>Type:</b>	<b>Submitted By:</b>
CONDITIONAL USE PERMIT AMENDMENT ~ MY PLACE HOTEL LOT 3, SOUTHPORT EAST REPLAT THREE	◆RESOLUTION ORDINANCE RECEIVE/FILE	ANN BIRCH COMMUNITY DEVELOPMENT DIRECTOR

#### **SYNOPSIS**

A public hearing has been scheduled for Council to consider an application for a Conditional Use Permit to locate and operate a hotel on Lot 3, Southport East Replat Three, generally located northwest of Southport Parkway and Port Grace Blvd.

#### **FISCAL IMPACT**

N/A.

#### **RECOMMENDATION**

Approval of the Conditional Use Permit for My Place Hotel, conditional on resolution of the outstanding items related to the building design requirements.

#### **BACKGROUND**

A public hearing has been scheduled to consider an application submitted by R W La Vista, LLC, for a Conditional Use Permit to locate and operate a My Place Hotel on Lot 3, Southport East Replat Three. The property is zoned C-3 Highway Commercial/Office Park District with the Gateway Corridor Overlay District. The applicant proposes to build a 64-room extended stay hotel. During the design review process two issues were identified and are contingencies to approval:

1. The color of the pitched roof is not compliant with the colors allowed within the Southport Design Guidelines however the city's design review architect recommends approval of the color chosen as it is appropriate for this project; and
2. The Southport Design Guidelines require all building signage to be individual can letters. The applicant has been working to bring the proposed wall sign into compliance. Staff is recommending compliance as a condition of approval.

A detailed staff report is attached.

The Planning Commission held a public hearing on June 19, 2014 and unanimously recommended approval of the Conditional Use Permit to City Council, conditional on the satisfactory completion of the design review prior to City Council review.

\*  
**RESOLUTION NO. \_\_\_\_\_**

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE EXECUTION OF A CONDITIONAL USE PERMIT FOR R W LA VISTA, LLC, TO ALLOW FOR A HOTEL ON LOT 3, SOUTHPORT EAST REPLAT THREE.

WHEREAS, R W La Vista, LLC has applied for a conditional use permit for to allow for a hotel, specifically My Place Hotel, on Lot 3, Southport East Replat Three, located northwest of Southport Parkway and Port Grace Boulevard; and

WHEREAS, the La Vista Planning Commission has reviewed the application and recommends approval; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit for such purposes, subject to the following conditions:

1. Approval of the roof color as recommended by the city's design review architect; and
2. Compliance of all building signage with the Southport Design Guidelines.

NOW THEREFORE, BE IT RESOLVED, that the Mayor and City Council of the City of La Vista hereby authorize the execution of a Conditional Use Permit in form and content submitted at this meeting, for R W La Vista, LLC to allow for a hotel, specifically My Place Hotel, on Lot 3, Southport East Replat Three.

PASSED AND APPROVED THIS 15TH DAY OF JULY, 2014.

CITY OF LA VISTA

ATTEST:

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Douglas Kindig, Mayor

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Pamela A. Buethe, CMC  
City Clerk



**CITY OF LA VISTA  
PLANNING DIVISION**

**RECOMMENDATION REPORT**

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CASE NUMBER: 2014-CUP-02

FOR HEARING OF: July 15, 2014  
Report Prepared on July 9, 2014

**I. GENERAL INFORMATION**

- A. APPLICANT:** RW La Vista, LLC
- B. PROPERTY OWNER:** Starboard South, LLC
- C. LOCATION:** NW Corner of Southport Parkway and Port Grace Blvd.
- D. LEGAL DESCRIPTION:** Lot 3 Southport East Replat Three
- E. REQUESTED ACTION(S):** Conditional Use Permit to allow for a hotel.
- F. EXISTING ZONING AND LAND USE:**  
C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District); the property is currently vacant.
- G. PROPOSED USES:** Developer wishes to construct a 64-room extended stay hotel.
- H. SIZE OF SITE:** Applicant wishes to utilize 1.52 acres of the current 2.696 acre parcel.

**II. BACKGROUND INFORMATION**

- A. EXISTING CONDITION OF SITE:** The existing site is vacant ground with a gradual downward slope to the north.
- B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**
  1. **Northwest:** PayPal; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
  2. **Northeast:** Securities America; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
  3. **Southeast:** Vacant; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
  4. **Southwest:** Gas Station/Commercial Strip Center; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)

- C. **RELEVANT CASE HISTORY:** N/A
- D. **APPLICABLE REGULATIONS:**
  - 1. Section 5.12 – C-3 Highway Commercial/Office Park District
  - 2. Section 5.17 of the Gateway Corridor District (Overlay District)
  - 3. Article 6 – Conditional Use Permits

**III. ANALYSIS**

- A. **COMPREHENSIVE PLAN:** The Future Land Use Map of the Comprehensive Plan designates this property for commercial uses.
- B. **OTHER PLANS:** N/A
- C. **TRAFFIC AND ACCESS:**
  - 1. It was determined by the city engineer that no additional traffic studies are required for the proposed action.
  - 2. Recent traffic analyses have indicated the intersection of Southport Parkway and Giles Road is expected to operate at Level of Service "D" in PM peak hours. Previous studies, such as the one presented to the City Council in October 2000 have indicated that full build-out of the Southport development will require major intersection improvements and widening of Giles Road to six lanes. This particular project is not expected to be a significant contributor to PM peak hour traffic. The applicant needs to be aware that the entrance from Southport Parkway into the private access road may be blocked by traffic queues on Southport Parkway for brief periods in PM peak hours and their customers will need to utilize the Port Grace Boulevard access.
  - 3. The property has access from 123<sup>rd</sup> Plaza which is a private roadway that exists from Southport Parkway to Port Grace Boulevard. Three driveway connections are proposed to this private roadway which will allow access from both Southport Parkway and from Port Grace Boulevard.
- E. **UTILITIES:** All utilities are available to the site.
- F. **PARKING REQUIREMENTS:**
  - 1. Zoning regulations require a total of 67 parking stalls (64 rooms and 3 employees); 3 of these stalls are required to be handicapped accessible. The CUP site plan depicts a total of 67 parking stalls and includes the required number of accessible stalls. No additional parking is anticipated to be needed.
- G. **LANDSCAPING:**
  - 1. The landscaping plan has been reviewed as part of the design review process that is required for developments within Southport East and

the Gateway Corridor District. Comments regarding the landscape plan are stated within the design review letter from the city's design review architect attached to this report. The landscape plan has been deemed as compliant by the city's architect.

**H. BUILDING DESIGN:**

1. The building design has been reviewed as part of the design review process that is required for developments within Southport East and the Gateway Corridor District. Comments are stated within the design review letter from the city's design review architect attached to this report. Two items in relation to the building design remain:
  - a. The color of the pitched roof is not compliant with the colors allowed within the Southport Design Guidelines. However, the design review architect has stated within his letter that the color chosen is appropriate for the application. Staff is recommending the approval of this color through the Conditional Use Permit.
  - b. The Southport Design Guidelines require all building signage to be individual can letters. The applicant has been working to bring the proposed wall sign into compliance. Staff is recommending compliance as a condition of approval.

**IV. REVIEW COMMENTS:**

1. The applicant's latest submittal has been modified in relation to the comments provided by the city engineer in his letter dated May 15, 2014. This review letter is attached for review. The city engineer agrees that the modifications have met his approval.
2. Along with the typical conditions for a hotel within the CUP document, staff has added a condition that allows for the approval of a roof color that is outside of the range of colors listed within the Southport Design Guidelines. If City Council approves of the Conditional Use Permit in its current form, the approval would allow for the proposed roof color.

**V. STAFF RECOMMENDATION:**

Approval of the Conditional Use Permit contingent upon compliance with the building signage requirements of the Southport design guidelines.

**VI. ATTACHMENTS TO REPORT:**

1. Vicinity Map
2. City Engineer's Review Letter
3. Design Review Architect's Review Letter
4. Draft CUP with packet of exhibits

**VII. COPIES OF REPORT TO:**

1. Scott Rau, RW La Vista, LLC; Applicant
2. Trenton B. Magid, Starboard South, LLC; Property Owner
3. Craig Larsen, Legacy Design Group, LLC; Architect
4. Public Upon Request

  
\_\_\_\_\_  
Prepared by \_\_\_\_\_  
 \_\_\_\_\_  
Community Development Director      Date  
\_\_\_\_\_  
7-9-14



## Vicinity Map

### Southport East Replat 3 - MyPlace Hotel

6/12/2014  
CSB





May 15, 2014

Mr. Christopher Solberg  
City Planner  
City of La Vista  
8116 Park View Blvd.  
La Vista, NE 68128

RE: Conditional Use Permit Amendment & Administrative Plat  
My Place Hotel  
Lot 3, Southport East Replat Three  
Initial City Engineer Review

Chris:

I have reviewed the copy of the proposed administrative plat that you provided from E&A Consulting Group, Inc. in your transmittal memo asking for comments by May 15. The plat is entitled Preliminary Administrative Plat, Southport East Replat Fourteen. I have reviewed the criteria of Section 3.08 of the Subdivision Regulations and have the following comments:

- A. The block for the Surveyor's Certification needs to have the language revised to include the following wording "this plat meets or exceeds the "Minimum Standards for Surveys" adopted by the Nebraska State Board of Examiners for Land Surveyors" in accordance with Section 10.02 of the Subdivision Regulations as revised February 4, 2014.
- B. The signature block for review by Sarpy County Public Works needs to be revised to be in accordance with Section 10.06 of the Subdivision Regulations as revised February 4, 2014.
- C. The signature block for City approval needs to be revised to be in accordance with Section 10.08 of the Subdivision Regulations as revised February 4, 2014.
- D. To allow for review of item 3 under Section 3.08.03 of the Subdivision Regulations, the applicant needs to provide a statement by a qualified traffic engineer as to the peak hour, two-way traffic volume that the proposed use is expected to generate in accordance with the Institute of Transportation Engineers recommendations.

I have also reviewed the application that I received from you in the same transmittal for a proposed conditional use permit for a hotel to be developed on part of Lot 3, Southport East Replat Three. Based on the elements for consideration set forth in Article 6.05 of the Zoning Regulations, I have the following comments:

**City Hall**  
8116 Park View Blvd.  
La Vista, NE 68128-2198  
p: 402-331-4343  
f: 402-331-4375

**Community Development**  
8116 Park View Blvd.  
p: 402-331-4343  
f: 402-331-4375

**Fire**  
8110 Park View Blvd.  
p: 402-331-4748  
f: 402-331-0410

**Golf Course**  
8305 Park View Blvd.  
p: 402-339-9147

**Library**  
9110 Giles Rd.  
p: 402-537-3900  
f: 402-537-3902

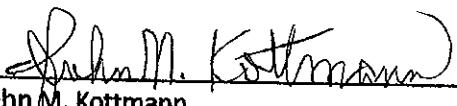
**Police**  
7701 South 96th St.  
p: 402-331-1582  
f: 402-331-7210

**Public Works**  
9900 Cornhusker Rd.  
p: 402-331-8927  
f: 402-331-1051

**Recreation**  
8116 Park View Blvd.  
p: 402-331-3455  
f: 402-331-0299

1. Relative to Article 6.05.04, the applicant needs to include on Site Plan Sheet C100 or C300 preliminary indications as to how Post Construction Storm Water Management will be provided to comply with the requirements to treat the first half inch of storm water runoff and to maintain no increase in peak flows from 2-year return frequency storm events above existing conditions.
2. Relative to Article 6.05.05, the applicant needs to provide the peak hour traffic estimation set forth in Item D above in order to evaluate this criterion.
3. In regards to Article 6.05.10 the location of the proposed monument sign at the southerly corner of the site needs to be moved to improve sight distance for vehicles leaving the facility. Also related to this Article, I need to point out that recent traffic analyses have indicated the intersection of Southport Parkway and Giles Road is expected to operate at Level of Service "D" in PM peak hours. Previous studies, such as the one presented to the City Council in October 2000 have indicated that full buildout of the Southport development will require major intersection improvements and widening of Giles Road to six lanes. This particular project is not expected to be a significant contributor to PM peak hour traffic. The applicant needs to be aware that the entrance from Southport Parkway into the private access road may be blocked by traffic queues on Southport Parkway for brief periods in PM peak hours and their customers will need to utilize the Port Grace Boulevard access.
4. The proposed use will not be objectionable under the other criteria in this article as long as the design standards and building permit regulations are followed during design of the facilities.

Please feel free to contact me if you have questions.

  
John M. Kottmann  
John M. Kottmann  
City Engineer

Cc file

23 May 2014

Revised 12, June 2014

Revised 25, June 2014

Revised 7, July 2014

Revised 9, July 2014

Mr. Chris Solberg  
City of La Vista  
8116 Parkview Boulevard  
La Vista, NE 68128-2198

RE: Design Review – My Place Hotel  
BCDM Project No. 3700-07

Dear Chris:

Per your request, we have completed a design review of the above referenced project using the Design Guidelines for the Southport Development (dated 1 September 2002) as applicable.

The following recommendations, comments and concerns are based on the provided drawings for La Vista My Place dated 5/2/2014. This review will note items ***Not in Compliance*** with the Design Guidelines.

## 5. SOUTHPORT'S STYLE

- II. SPECIFIC STYLE REQUIREMENTS
  - A. A recognizable base exists, however the mid-façade and cornice do not match proportion. See item II.D.  
**Not in Compliance.**  
**Submittal describes existing design as compliant due to measured breakdown of facades.**  
**The cornice as defined by the guideline is a horizontal molded projection, not a major portion of the façade. The intent of the guideline is that the primary building material is at least 60% of the façade (excluding the base and windows). The total percentage of primary building material shown in this exhibit is not 60% of the façade.**
    - **Not in Compliance.**  
Additional brick has been added at corner towers. Cornice comment not addressed in re-submission.
      - **Not in Compliance.**  
Re-Submission as of 7/7/14 shows change in color and material at the fascia/soffit to qualify as cornice to satisfy guidelines. This has not been accepted as satisfying cornice element requirement. Suggest including banding in EIFS at "Amarillo White" EIFS areas, above windows to create acceptable cornice element.
        - **Not in Compliance pending revisions**  
Re-submission has included banding as described previously to achieve cornice element.
          - **Submittal is compliant.**

Mr. Chris Solberg  
City of La Vista

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**Submittal has been clarified to provide 6/12 roof pitch throughout.**

• **Submittal is Compliant**

- C. “(Pitched Roofs)... shall be comprised of standing seam metal roofing of the color ranges as shown in Appendix L.”

Submitted sample roofing is not of the color range shown in Appendix L.

**Not in Compliance.**

**Item not addressed in Re-submittal.**

**Proposed color is acceptable from a design perspective however, a color not in the range shown in the Appendix would require Council Approval.**

• **Not in Compliance pending Council Approval.**

**Item not addressed in Re-Submittal.**

- **Though not approved color within guidelines, color of roof selection is appropriate for application.**

- D. Refer to Item 2.b. *The mid-façade shall be constructed from (1) or more of the primary building materials... ...The primary building materials shall comprise a minimum of 60% of the mid-façade. The remaining 40% can be comprised of the Secondary building materials.*

- Corner towers contain none of the primary building material as well as other sections.

- More information of building horizontal dimensions needed to determine compliance.

- Recommend incorporating brick into elements that currently show no primary building material element (corner towers, main façade etc. Se item II.A)

**Not in Compliance.**

**Submittal describes existing design as compliant due to measured breakdown of facades. See item IIA.**

• **Not in Compliance.**

**Item addressed by corner column brick additions. Additional brick aids mid-façade requirement compliance.**

• **Compliant under revision.**

## 6. SITE ELEMENTS

- I. SPECIFIC SITE ELEMENT REQUIREMENTS
- A. Serpentine Sidewalk has been provided as required.

**Submittal is compliant.**

*Plants for the green space shall be selected from the plant list as shown in Appendix G.*

-Although some plants selected comply with the list in Appendix G, several are not from this list.

-In addition, the planting sizes do not match requirements as shown in Appendix G.

**Not in Compliance.**

**Planting list has been revised to include compliant number and sizing of planting from Appendix G.**

• **Submittal is Compliant**

- D. Green Space (Secondary Street Frontage) 10' requirement of landscaped area shown as required.

**Submittal is compliant.**

Mr. Chris Solberg

City of La Vista

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*Plants for the green space shall be selected from the plant list as shown in Appendix G.*

-Although some plants selected comply with the list in Appendix G, several are not from this list. Minimally select plants to meet minimum requirements for each category as listed.

-In addition, the planting sizes do not match requirements as shown in Appendix G.

**Not in Compliance.**

**Planting list has been revised to include compliant number and sizing of planting from Appendix G.**

- **Submittal is Compliant**

## 7. BUILDING ELEMENTS

- **II. SPECIFIC BUILDING ELEMENT REQUIREMENTS (Mandatory)**
  - A. *All roof top mechanical units, including motel/hotel room units shall be screened from view from public right-of-ways through the use of permanent architectural screens that are integrated with the overall design of the building.*
    - Motel/hotel PTAC thru-wall units are to be screened.
    - Provide information and details on screening to be incorporated into thru-wall units shown.
  - Not in Compliance.**
  - Information has been provided for PTAC grilles.**
  - **Submittal is Compliant**
  - B. *Ground level mechanical equipment is not shown. Provide information showing locations of any and all pedestals, building utilities etc.*
    - Compliant pending final mechanical drawings showing any exterior equipment locations.**
    - Mechanical plans pending submittal, however design concept describes location and screening of units.**
    - **Submittal is Compliant**
  - C. *Refuse screening shown is compliant.*
    - Submittal is compliant.**
  - F. *Building lighting shall use metal halide color lighting as required. Submittal does not specify color of site elements including lamps. Submittal does not specify lighting color.*
    - Submittal is compliant pending lighting and pole color specified as required**
    - Additional information provided specifying lighting and pole color to match guidelines.**
    - **Submittal is Compliant.**
- **III. SPECIFIC BUILDING ELEMENT REQUIREMENTS (Optional)**
  - Requirement to provide 4 of the 6 optional elements.
    - A. Awnings. (Not provided) **(Provided)**
      - **Submittal has described original submittal roof elements as awnings.**
      - **Building elements described do not satisfy the intent of providing awnings.**
      - **Element not provided under current submission.**
      - **Element addressed and provided as design element (Provided)**
    - B. Arches. (Not provided)

Mr. Chris Solberg

City of La Vista

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- C. Square Columns (Not provided)
  - Submittal has described canopy columns and tower elements as square columns.
  - Some square column elements are included, however, the rear of the building is recommended to continue the building elements.
  - Element not provided under current submission and requires additional revisions.
- D. Pitched Roof (Provided)
- E. Arbors (Not Provided) (Provided)
  - Submittal could incorporate this element to comply with requirements.
  - Re-submittal provides arbor at seating area.
- F. Site Furniture (Provided) Provide cuts of site furniture to be included in the design with color selection indicated.
  - Cut sheets of site furniture to be provided have been included.

- Provide 2 additional optional building elements as required.  
**Not in Compliance.**  
- Provide 2 additional optional building elements as required.  
**Not in Compliance.**  
**-4 out of 6 items provided**  
**Submittal is Compliant.**

## 9. SIGNAGE

- All building signs shall be individual can letters. Color of letters is up to the Building owner.
- Individual can letters on building not shown. Singular sign is not compliant with this requirement. Signage reviewed by City.  
**Not in Compliance.**  
**Signage has been described in more detail including trademarked signage as shown.**  
**Signage is required to be modified to comply with guidelines. (See Fantasy Car Wash ie.) Signage is reviewed by City for compliance.**  
**Signage is required to be modified to comply with guidelines. (See Fantasy Car Wash ie.) Signage is reviewed by City for compliance.**  
**Signage has been modified to more closely comply with guidelines. Signage is reviewed by City for compliance.**

If you have questions on any of the comments listed above, please contact me directly at (402) 384-6428.

Sincerely,

Kevin Schluckebier, AIA, LEED AP

BCDM Architects

KES/bsf

c: File 3700-07, 1.0

**City of La Vista  
Conditional Use Permit**

**Conditional Use Permit for Hotel**

This Conditional Use Permit issued this 15th day of July, 2014, by the City of La Vista, a municipal corporation in the County of Sarpy County, Nebraska ("City") to, RW La Vista, LLC ("Owner"), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to construct and operate a hotel upon the following described tract of land within the City of La Vista zoning jurisdiction:

Lot 3, Southport East Replat Three located in the SE $\frac{1}{4}$ , Section 18, Township 14 North, Range 12 East of the 6th P.M. Sarpy County, Nebraska.

WHEREAS, Owner has applied for a conditional use permit for the purpose of locating and operating a hotel; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit to the owner for such purposes, subject to certain conditions and agreements as hereinafter provided.

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this conditional use permit is issued to the owner to use the area designated on Exhibit "C100" hereto for a hotel, said use hereinafter being referred to as "Permitted Use or Use".

**Conditions of Permit**

The conditions to which the granting of this permit is subject are:

1. The rights granted by this permit are transferable and any variation or breach of any terms hereof shall cause permit to expire and terminate without the prior written consent of the City (amendment to permit) or unless exempted herein.
2. In respect to the proposed Use:
  - a. A site plan showing the property boundaries of the tract of land and easements, proposed structures, parking, access points, and drives shall be provided to the City and attached to the permit as Exhibit "C100".
  - b. The hours of operation will be 24 hours a day seven days a week.
  - c. There will be approximately 3 employees to work full or part time.
  - d. There shall not be any outside storage of materials. All trash receptacles, benches and planters shall be placed on property and securely fastened to building or concrete.
  - e. The premises shall be developed and maintained in accordance with the site plan (Exhibit "C100") as approved by the City and incorporated herein by this reference. Any modifications must be submitted to the Chief Building Official for approval.
  - f. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. Building fixtures shall be of a design and size compatible with the building and adjacent areas. Lighting shall be restrained in design and excessive brightness avoided. Lighting shall be designed to a standard that does not impact adjoining properties.

- g. Owner shall obtain all required permits from the City of La Vista and shall comply with any additional requirements as determined by the Chief Building Official, including, but not limited to, building, fire, FAA and ADA.
- h. Owner shall comply (and shall ensure that all employees, invitees, suppliers, structures, appurtenances and improvements, and all activities occurring or conducted, on the premises at any time comply) with any applicable federal, state and/or local regulations, as amended or in effect from time to time, including, but not limited to, applicable environmental or safety laws, rules or regulations.
- i. Owner hereby indemnifies the City against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the owner, his agents, employees, assigns, suppliers or invitees, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violation on the premises of any environmental or safety law, rule or regulation.

3. In respect to the Gateway Corridor Overlay District and Southport East Design Guidelines:

- a. Building Exterior (Style and Building Materials)
  - i. The elevation plans (Exhibits "A200" and "A201") and material submitted indicate a combination of block veneer, brick, and E.I.F.S. with a recognizable base, mid-façade and cornice.
  - ii. All windows shall be "punched" style.
  - iii. The roof shall be standing seam metal with a 6/12 pitch with a color of "Burnish Slate".
  - iv. The project has incorporated four of the six optional building elements to the exterior design of the building as prescribed by the Southport East Design Guidelines. Site furniture and arbors are illustrated on the Site Plan and elevation plans (Exhibits "C100" and "A200"). Awnings and a pitched roof are illustrated on the elevation plans (Exhibits "A200" and "A201").
- b. Mechanical Units
  - i. According to the building elevations (Exhibits "A200" and "A201"), there are louvers integrated with the windows at each individual room. Such louvers shall be painted to match the surrounding wall finishes.
  - ii. The ground units as shown on the landscape plan (Exhibit "L100") are to be screened from view by a mixture of Shadblow Serviceberry, Dense Yew, Knock Out Rose, and Sea Green Juniper.
- c. Trash Enclosure
  - i. The site plan (Exhibit "C100") and elevation (Exhibit "A202") indicates screening (trash enclosure) around the refuse dumpsters. The walls of the trash enclosure are to be constructed of masonry units to match the material on the main structure. Two gates with steel frames will be utilized on the enclosure.
- d. Landscaping and Site Treatment
  - i. The landscape plan (Exhibit "L100") has identified the required landscaping to the site and shall be incorporated accordingly.
  - ii. Any changes to the landscape plan must be approved by the City of La Vista.
  - iii. All perimeter sidewalks shall be serpentine.
- e. Exterior Light Fixtures
  - i. All exterior light fixtures used on this project for parking lots shall be in accordance with the Southport East Design Guidelines. Parking lot lights (Exhibit "Appendix H" and "Appendix I") shall be located according to the Site Lighting Plan (Exhibit "C100").
  - ii. All additional exterior light fixtures must be submitted for approval.
- f. Signage
  - i. All signs shall comply with the City's sign regulations. Wall signage shall be individual can letters in accordance with the Southport East Design Guidelines.

4. The applicant's right to maintain the use as approved pursuant to these provisions shall be based on the following:
  - a. An annual inspection to determine compliance with the conditions of approval. The conditional use permit may be revoked upon a finding by the City that there is a violation of the terms of approval, if the violation continues after written notice from the City to Owner and a reasonable time for Owner to cure such violation.
  - b. The use authorized by the conditional use permit must be initiated within one (1) year of approval and shall become void two (2) years after the date of approval unless the applicant has fully complied with the terms of approval.
  - c. All obsolete or unused structures, accessory facilities or materials with an environmental or safety hazard shall be abated and/or removed at owner's expense within twelve (12) months of cessation of the conditional use.
5. Notwithstanding any other provision herein to the contrary, this permit, and all rights granted hereby, shall expire and terminate as to a permitted use hereunder upon the first of the following to occur:
  - a. Owner's abandonment of the permitted use. Non-use thereof for a period of twelve (12) months shall constitute a presumption of abandonment.
  - b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Use.
  - c. Owner's breach of any other terms hereof and his failure to correct such breach within ten (30) days of City's giving notice thereof.
6. If the permitted use is not commenced within one (1) year from July 15, 2014, this Permit shall be null and void and all rights hereunder shall lapse, without prejudice to owner's right to file for an extension of time pursuant to the La Vista Zoning Ordinance.
7. In the event of the owner's failure to promptly remove any safety or environmental hazard from the premises, or the expiration or termination of this permit and the owner's failure to promptly remove any permitted materials or any remaining environmental or safety hazard, the City may, at its option (but without any obligation to the owner or any third party to exercise said option) cause the same to be removed at owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable) and the owner shall reimburse the City the costs incurred to remove the same. Owner hereby irrevocably grants the City, its agents and employees the right to enter the premises and to take whatever action as is necessary or appropriate to remove the structures or any environmental or safety hazards in accordance with the terms of this permit, and the right of the City to enter the premises as necessary or appropriate to carry out any other provision of this permit.
8. If any provision, or any portion thereof, contained in this agreement is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

## **Miscellaneous**

The conditions and terms of this permit shall be binding upon owner, his successors and assigns.

1. Delay of City to terminate this permit on account of breach of owner of any of the terms hereof shall not constitute a waiver of City's right to terminate, unless it shall have expressly waived said breach and a waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.

2. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this permit.
3. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed to the owner as follows:

**Contact Name and Address:** Scott Rau  
RW La Vista, LLC  
1910 8<sup>th</sup> Ave NE  
Aberdeen SD, 57401

**Effective Date:**

This permit shall take effect upon the filing hereof with the City Clerk a signed original hereof.

THE CITY OF LA VISTA

By \_\_\_\_\_  
Douglas Kindig, Mayor

Attest:

---

Pam A. Buethe  
City Clerk

**CONSENT AND AGREEMENT**

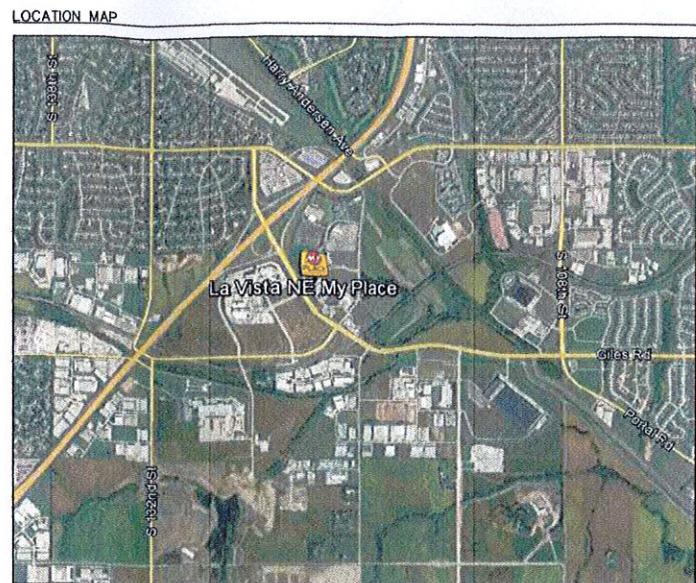
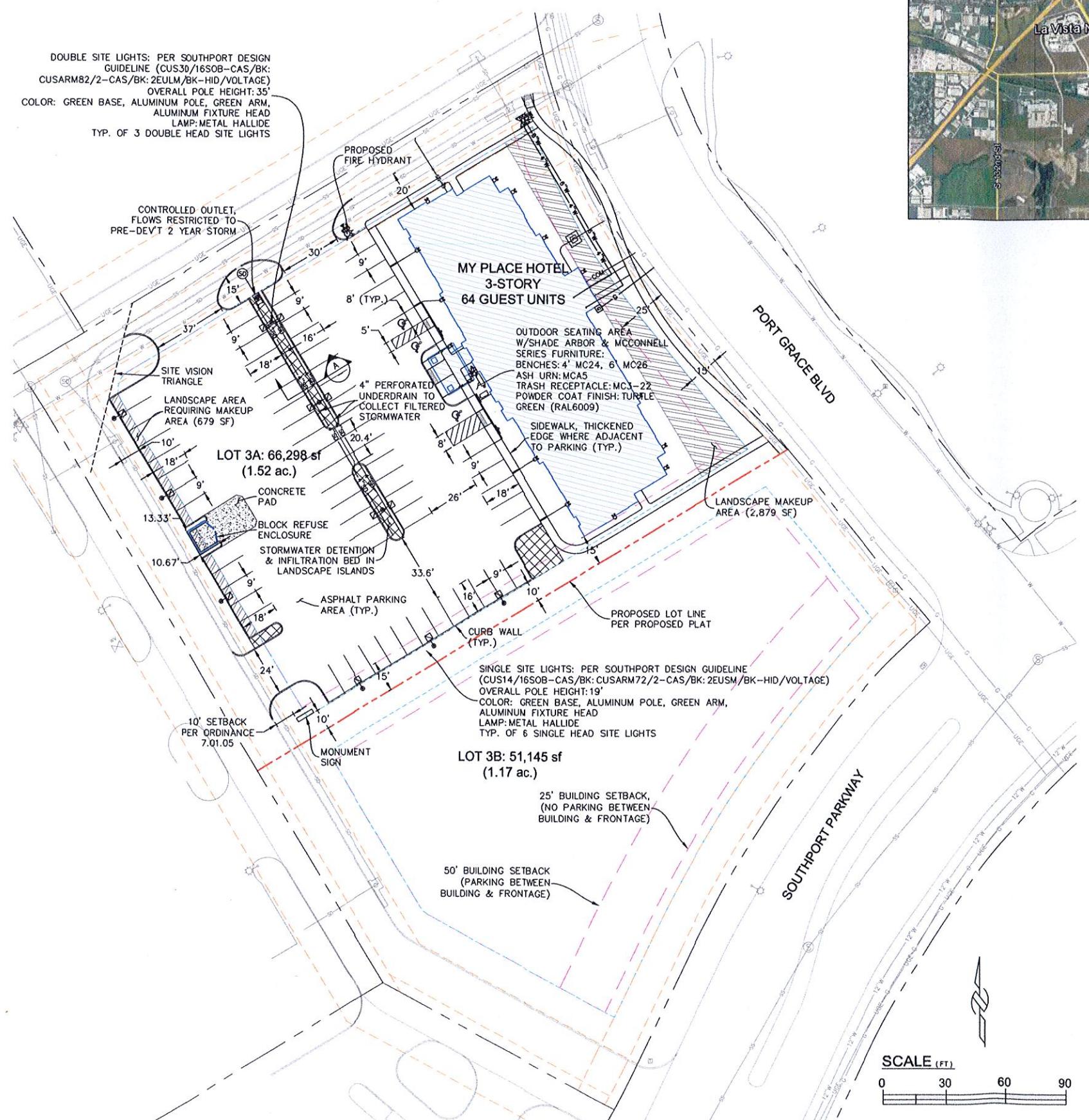
The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by owner to be performed or discharged.

Owner:

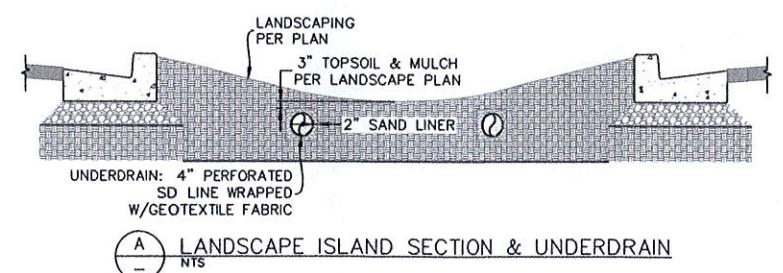
By: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



LEGEND	
PROPOSED	EXISTING
PROPERTY LINE	PROPERTY LINE
EASEMENT	EASEMENT
PARKING SETBACK REQ'T	PARKING SETBACK REQ'T
BUILDING SETBACK REQ'T	BUILDING SETBACK REQ'T
MAJOR CONTOUR	MAJOR CONTOUR
MINOR CONTOUR	MINOR CONTOUR
STORMDRAIN LINE	STORMDRAIN LINE
SANITARY SEWER LINE	SANITARY SEWER LINE
WATER LINE	WATER LINE
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE	UNDERGROUND ELECTRIC LINE
COMMUNICATIONS LINE	COMMUNICATIONS LINE
GAS LINE	GAS LINE
CONDUT	CONDUT
PROPERTY LINE	PROPERTY LINE
STORMDRAIN INLET	STORMDRAIN INLET
STORMDRAIN COMBINATION BOX	STORMDRAIN COMBINATION BOX
STORMDRAIN MANHOLE	STORMDRAIN MANHOLE
DOWNSPOUT (ROOF DRAIN W/CONNECTION)	DOWNSPOUT (ROOF DRAIN W/CONNECTION)
ROOFDRAIN (OUTLET TO LANDSCAPING)	ROOFDRAIN (OUTLET TO LANDSCAPING)
CLEANOUT	CLEANOUT
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
ELECTRICAL/TRANSFORMER BOX	ELECTRICAL/TRANSFORMER BOX
FIRE HYDRANT	FIRE HYDRANT
WATER METER	WATER METER
WATER VALVE	WATER VALVE
FIRE DEPT. CONNECTION	FIRE DEPT. CONNECTION
SITE LIGHT	SITE LIGHT
INTERIOR PARKING LANDSCAPING	INTERIOR PARKING LANDSCAPING
LANDSCAPING SWAP/MAKEUP AREA	LANDSCAPING SWAP/MAKEUP AREA



## PARKING/LANDSCAPING CALCULATIONS:

- 1 STALL PER HOTEL ROOM
- 64 ROOMS & 3 EMPLOYEES = 67 STALLS
- STALLS PROVIDED = 71 (INCLUDES 3 ADA STALLS)
- PARKING LANDSCAPING REQUIRED (10 SF/STALL) = 662 SF
- PARKING LANDSCAPING PROVIDED = 1,128 SF

## SITE INFORMATION:

- ZONING DISTRICT: C3, HIGHWAY COMMERCIAL
- LOT SIZE: 66,298 SF (1.52 AC.)
- OPEN SPACE: 18,570 SF (28%)
- PERVIOUS AREA (LANDSCAPING): 17,168 SF (26%)
- LANDSCAPE AREA ENCROACHED BY PARKING REQUIRING MAKEUP: 679 SF
- LANDSCAPE PARKING MAKEUP AREA PROVIDED: 2,874 SF (REAR OF BLDG)

## OWNER/DEVELOPER:

THE RIVETT GROUP, LLC  
 SCOTT RAU  
 1910 8TH AVE. NE  
 ABERDEEN, SD 57401  
 605.725.5257

SURVEYOR:  
 E&A CONSULTING GROUP  
 JASON HEADLEY, RLS  
 330 NORTH 117TH ST.  
 OMAHA, NE 68154  
 402.895.4700

## ARCHITECT:

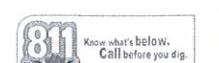
THE RICHARDSON DESIGN PARTNERSHIP  
 JEFF BYERS, AIA  
 510 SOUTH 600 EAST  
 SALT LAKE CITY, UT 84102  
 801.355.6868

LANDSCAPE ARCHITECT:  
 E&A CONSULTING GROUP  
 JASON THIELLEN  
 330 NORTH 117TH ST.  
 OMAHA, NE 68154  
 402.895.4700

## CIVIL ENGINEER:

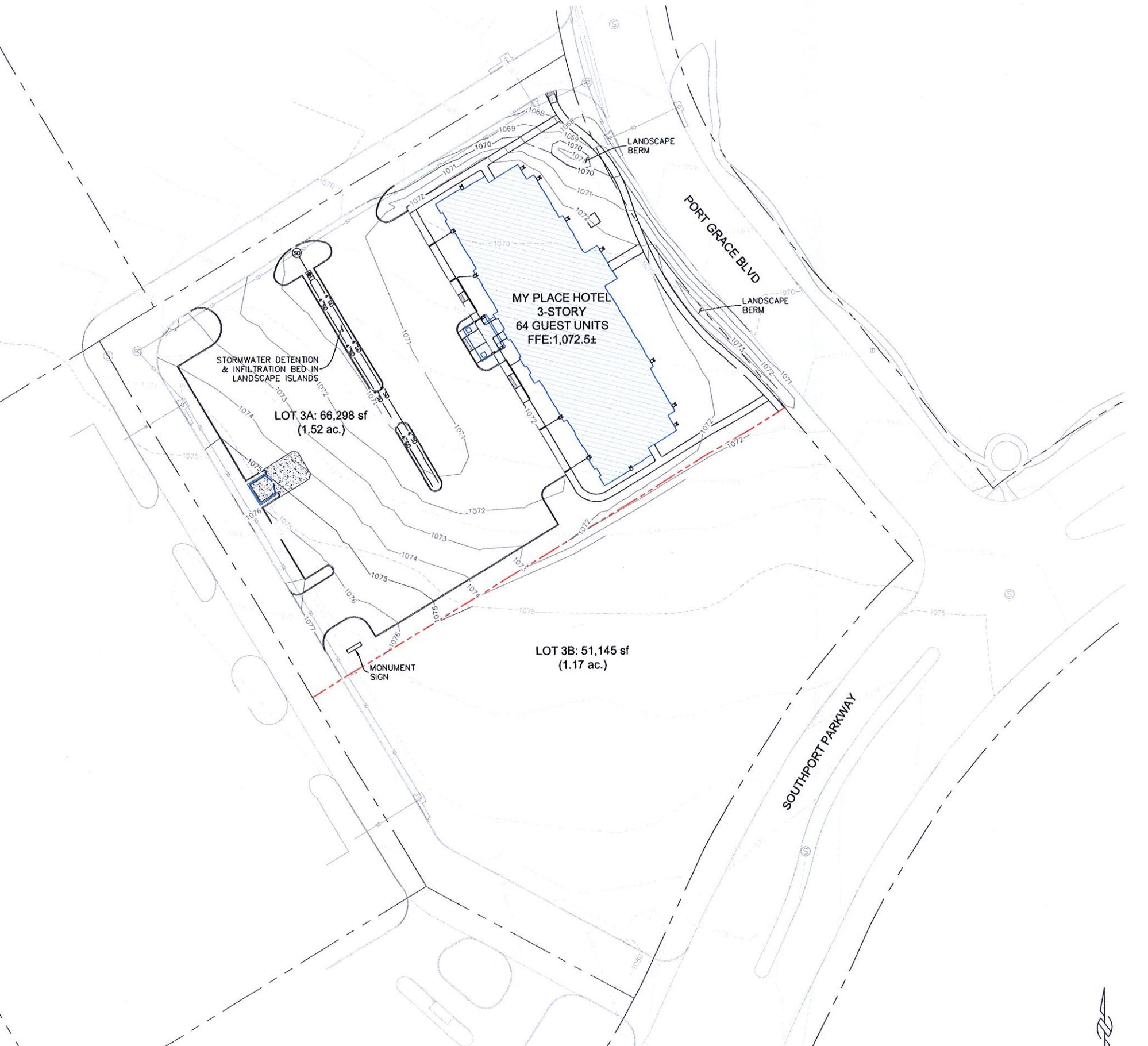
LEGACY DESIGN GROUP  
 CRAIG LARSEN, PE  
 1910 8TH AVE. NE  
 ABERDEEN, SD 57401  
 605.725.5257

GEOTECHNICAL ENGINEER:  
 E&A CONSULTING GROUP  
 GOPAL ALLAM  
 330 NORTH 117TH ST.  
 OMAHA, NE 68154  
 402.895.4700

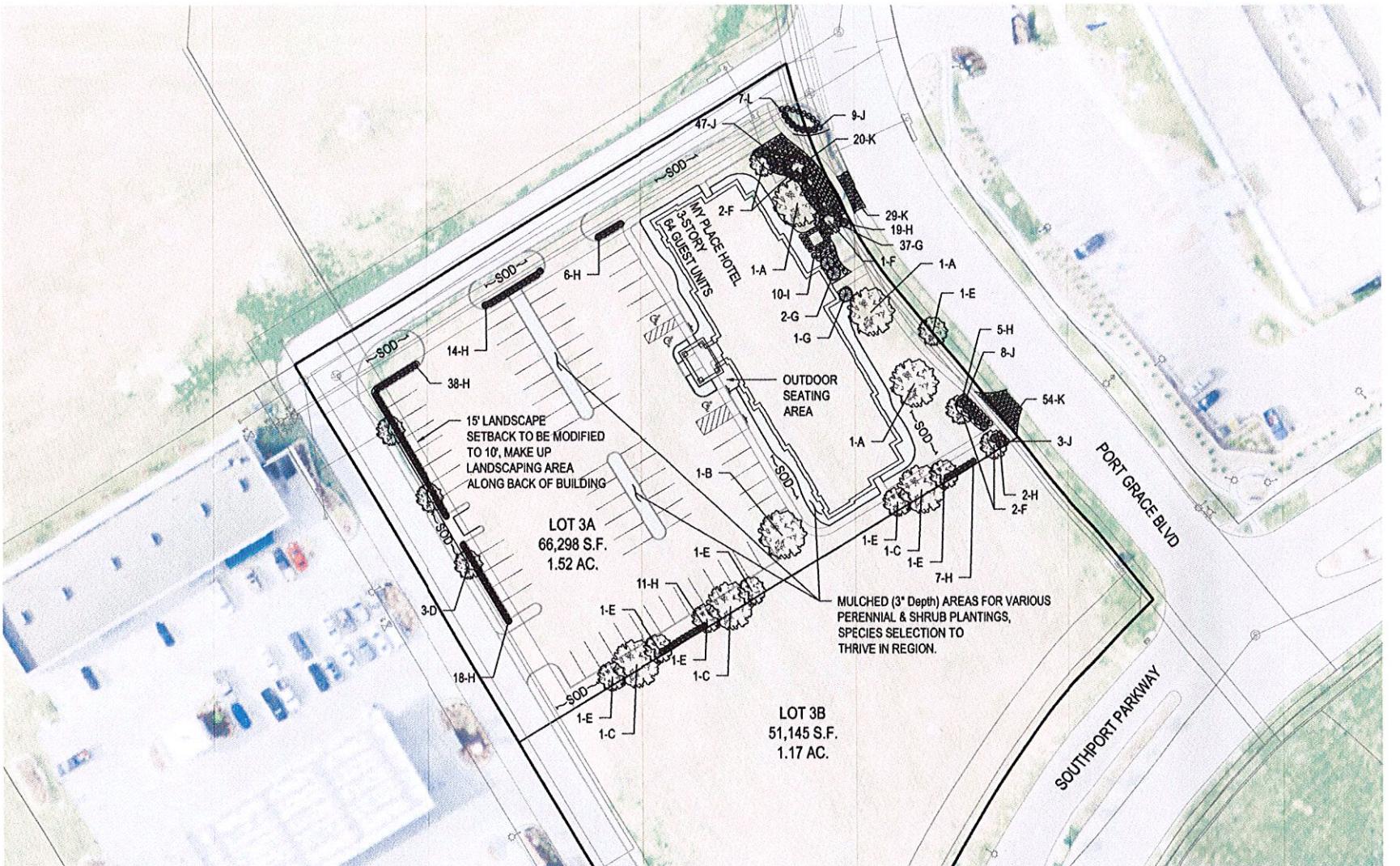


Rev. Date Comment

 DRAWN BY: CBL  
 DESIGN BY: CBL  
 ISSUE DATE:

LEGEND		PROPOSED	EXISTING
			MAJOR CONTOUR
			MINOR CONTOUR
			BUILDING/STRUCTURE
			CURB, GUTTER
			PROPERTY LINE
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#### LANDSCAPE NOTES:

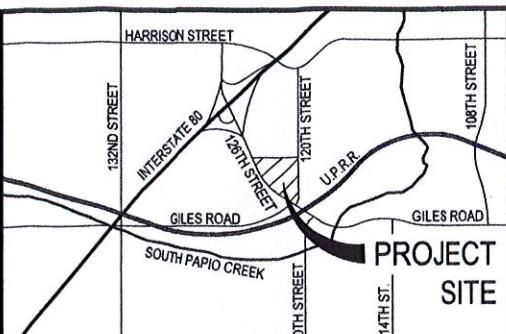
- Locate and verify the location of all underground utilities prior to the start of any construction. Care should be taken not to disturb any existing utilities during construction. Any damage to utilities or other improvements caused by the Contractor will be repaired at no cost to the Owner.
- All plant material shall be of good quality and sizes shall meet required size specifications. Owner reserves the right to substitute plant material type, size and/or quantity.
- All plants are to be watered immediately after planting and then watered once a week for a period of two months from time of planting.
- All plant material shall be guaranteed to be in a live and healthy growing condition for two full growing seasons (trees) and one full growing season (perennials & shrubs) after final project acceptance or shall be replaced free of charge with the same grade and species including labor.
- Verify all dimensions and conditions prior to starting construction. The location of plant material is critical and shall be installed as indicated on plans. Field adjustments may be necessary based on field conditions (i.e., root ball and drop inlet conflict). All adjustments must be approved by the landscape architect.
- The Landscape Contractor shall remove all construction debris and materials injurious to plant growth from planting pits and beds prior to backfilling with planting mix. All planting areas shall be free of weeds and debris prior to any work.
- Provide locally available shredded hardwood mulch on all trees and in all planting beds to a 3-4 inch minimum depth unless otherwise noted. Mulch ring to extend 1'-0" minimum beyond planting pit. Minor site grading to be included if needed.
- All trees are to be staked for a period of not less than one year from time of planting.
- Contractor to coordinate work with other amenities contractors.

#### IRRIGATION NOTES:

- All landscaped and sodded areas to be irrigated.
- Irrigation bid to include meter pit and MUD fees.
- Mount irrigation controller in mechanical room with instructions. Contractor to provide training of irrigation system to Owner.
- Irrigation system to be guaranteed for 1 year. Written guarantee to be supplied prior to final payment.
- Irrigation contractor responsible to winterize system one time.
- Irrigation contractor to furnish as built drawing of the system and catalogue cuts of the installed equipment prior to final payment.
- Irrigation contractor to provide owner and engineer an irrigation plan shop drawing and equipment catalog cuts for approval prior to installation.
- Contractor to coordinate work with other amenities contractors.

#### SODDING NOTES:

- The contractor shall notify the architect at least forty-eight hours in advance of the time he intends to begin sodding and shall not proceed with such work until permission to do so have been granted. No frozen sod shall be placed. No sodding shall be done on frozen earth.
- Care shall be exercised at all times to retain the native soil on the roots of the sod during the process of transplanting. Dumping from vehicles will not be permitted. The sod shall be planted within eighteen (18) hours from the time it is harvested unless it is tightly rolled or stored roots-to-roots in a satisfactory manner. All sod in stacks shall be kept moist and shall be protected from exposure to the sun and from freezing. No storage longer than three (3) days will be permitted. Sod which becomes dried out or does not meet the specifications will be rejected.
- There shall be a minimum of six inches, after tamping, of topsoil under all sod. Excavations or trenching shall be made to a sufficient depth below the finished grade of the soil to accommodate the depth of topsoil as specified and the thickness of sod as specified. Fertilizer shall be applied at a rate to provide 100 pounds of nitrogen per acre unless fertilizer has been applied under another item in this contract to the topsoil in the sod bed. Fertilizer applied under this item shall be incorporated with the topsoil to a depth of at least two inches before the sod is laid, unless otherwise specified or approved. Incorporation shall be accomplished by disking, harrowing, drilling, raking or other approved means.
- The soil on which the sod is laid shall be reasonably moist and shall be watered, if so directed. The sod shall be laid smoothly, edge to edge, and all openings shall be plugged with sod. Immediately after the sod is laid, it shall be pressed firmly into contact with the sod bed by tamping, rolling, or by other approved methods so as to eliminate all air pockets, provide true and even surfaces, insure knitting and protect all exposed sod edges without displacement of the sod or deformation of the surface of the sodded areas and watered at the rate of five gallons per square yard of sodded area unless otherwise directed.
- The contractor shall take care of the sodded areas until all work on the entire contract has been completed, and sod has been mowed twice and then accepted. Such care shall consist of providing protection against traffic by approved warning signs or barricades and the moving of grass to the height of two inches when the growth attains a maximum height of four inches.
- Sod shall also be watered. When the sod is watered, sufficient water shall be applied to wet the sod at least two inches deep in the sod bed. Watering shall be done in a manner which will not cause erosion or other damage to the finished surfaces. Any surfaces which become gullied or otherwise damaged shall be repaired to reestablish the grade and conditions of the soil prior to sodding and shall then be re-fertilized and re-sodded as specified under this item.
- In drainage-ways or slopes, the sod shall be laid with their longest dimension parallel to the contours. Such sodding shall begin at the base of slopes or grades and the sodding progress in continuous parallel rows working upward. Vertical joints between such sodding shall be staggered. All sod shall be laid to the grades specified and the grades formed with special care at the junction of drainage-ways.
- Sod shall be held in place by stakes in all drainage-ways, on all slopes steeper than 4:1 and elsewhere where specified or as directed. Pegging shall be done immediately after tamping. At least one stake shall be driven through each sod to be staked, and the stakes shall not be more than two feet apart. Stakes shall have their flat sides against the slope and be driven flush. Stakes for pegging sod shall be of wood, approximately one inch by two inches and of sufficient length to penetrate the sod, the topsoil and to a minimum depth of two inches of subsoil.
- The contractor shall keep all sodded areas thoroughly watered for a period of thirty (30) calendar days after the initial laying and as often as required thereafter until sod has been fully established (two mowings) and accepted by the engineer and owner. Contractor to use temporary irrigation for the watering of the sod. Contractor to supply all necessary hoses, fittings and sprinklers for all watering needs.
- All sod must be fully established (two mowings) and growing at the time of inspection and acceptance.

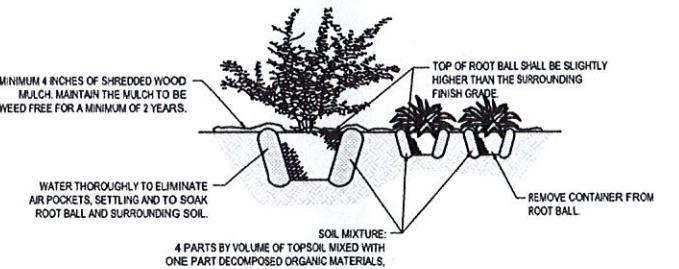


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1 inch = 40 ft.

VICINITY MAP

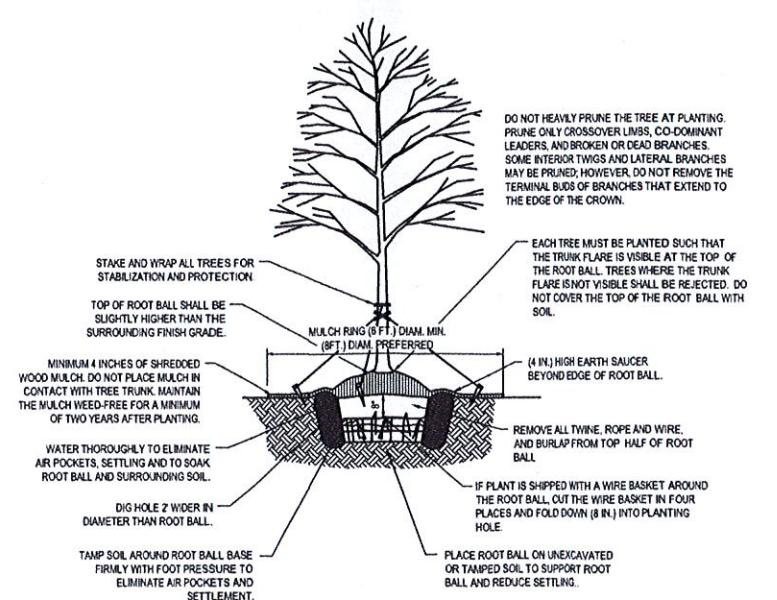
#### PLANT SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
A	3	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	3"	B&B
B	1	Acer rubrum 'Franksred'	Red Sunset Maple	3"	B&B
C	3	Quercus rubra	Northern Red Oak	3"	B&B
D	3	Malus 'Spring Snow'	Spring Snow Crabapple	2 1/2"	B&B
E	7	Malus 'Indian Magic'	Indian Magic Crabapple	2 1/2"	B&B
F	5	Amelanchier canadensis	Shadblow Serviceberry	2 1/2"	B&B
G	40	Taxis densiformis	Dense Yew	18-24"	Cont.
H	120	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 Gal.	Cont.
I	10	Rosa 'Knock Out'	Knock Out Rose	2 Gal.	Cont.
J	67	Berberis thunbergii	Red Barberry	5 Gal.	Cont.
K	103	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal.	Cont.
L	7	Juniperus chinensis	Blue Rug Juniper	2 Gal.	Cont.



#### SHRUB & PERENNIAL PLANTING DETAIL

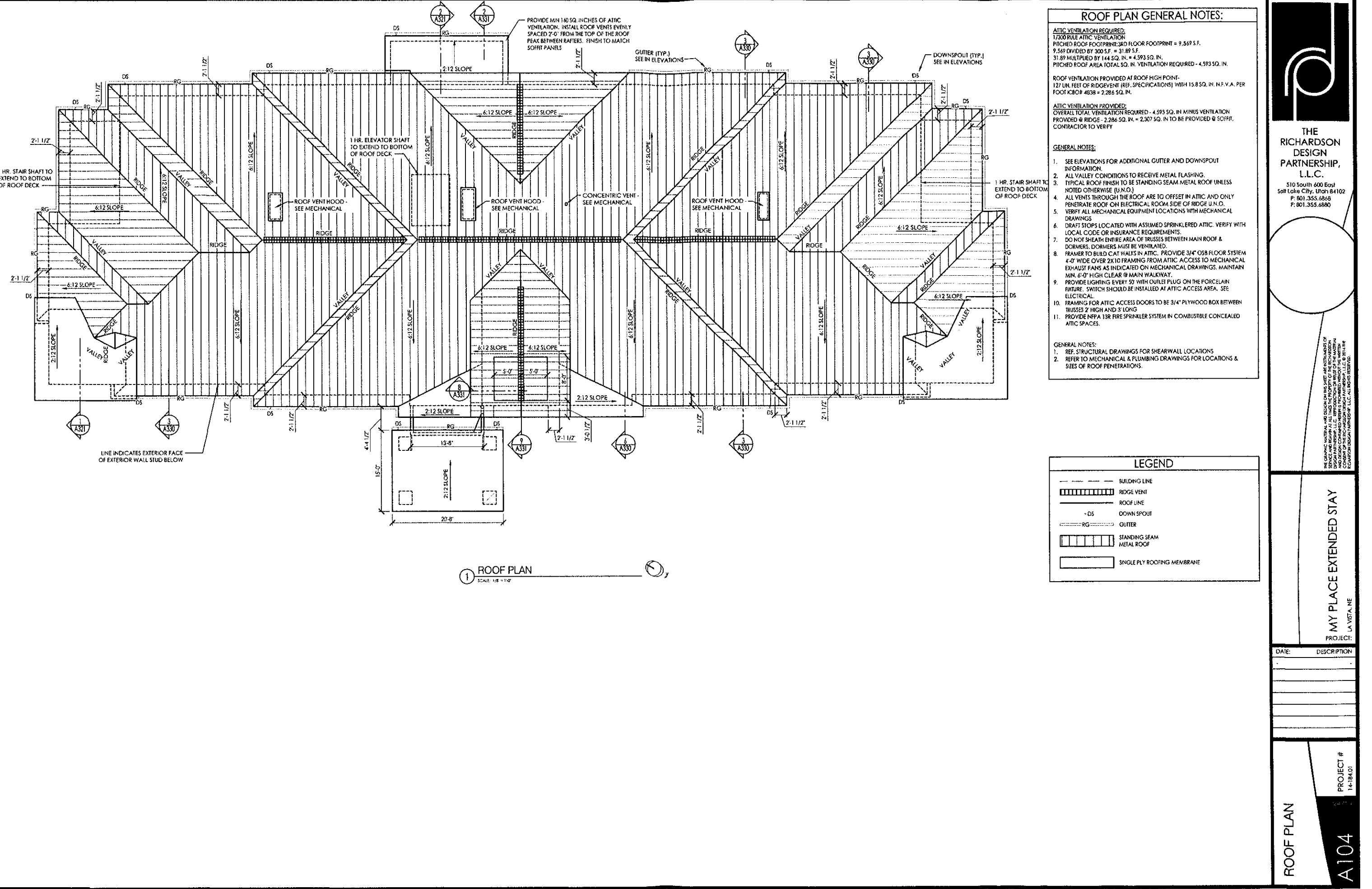
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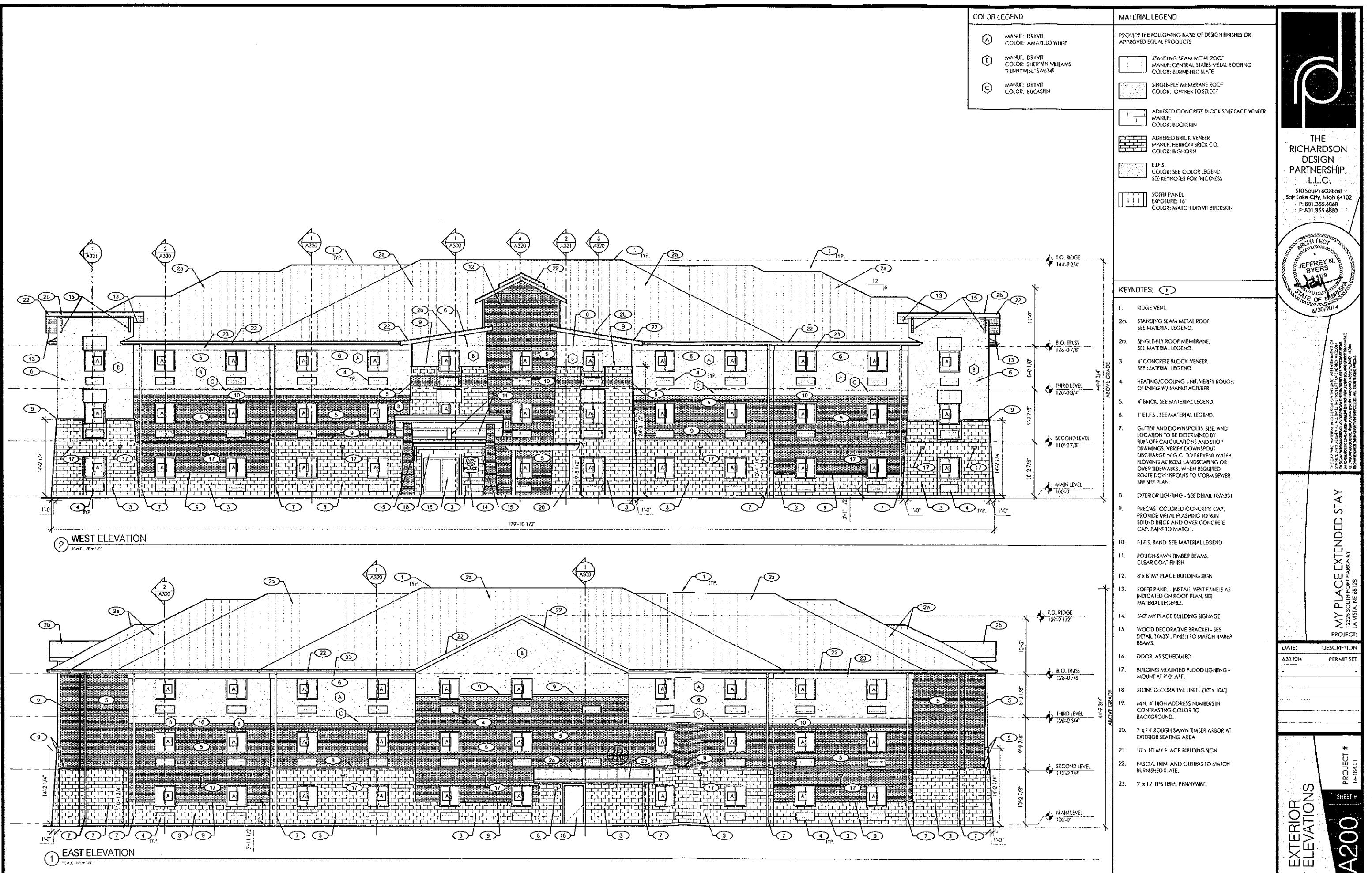


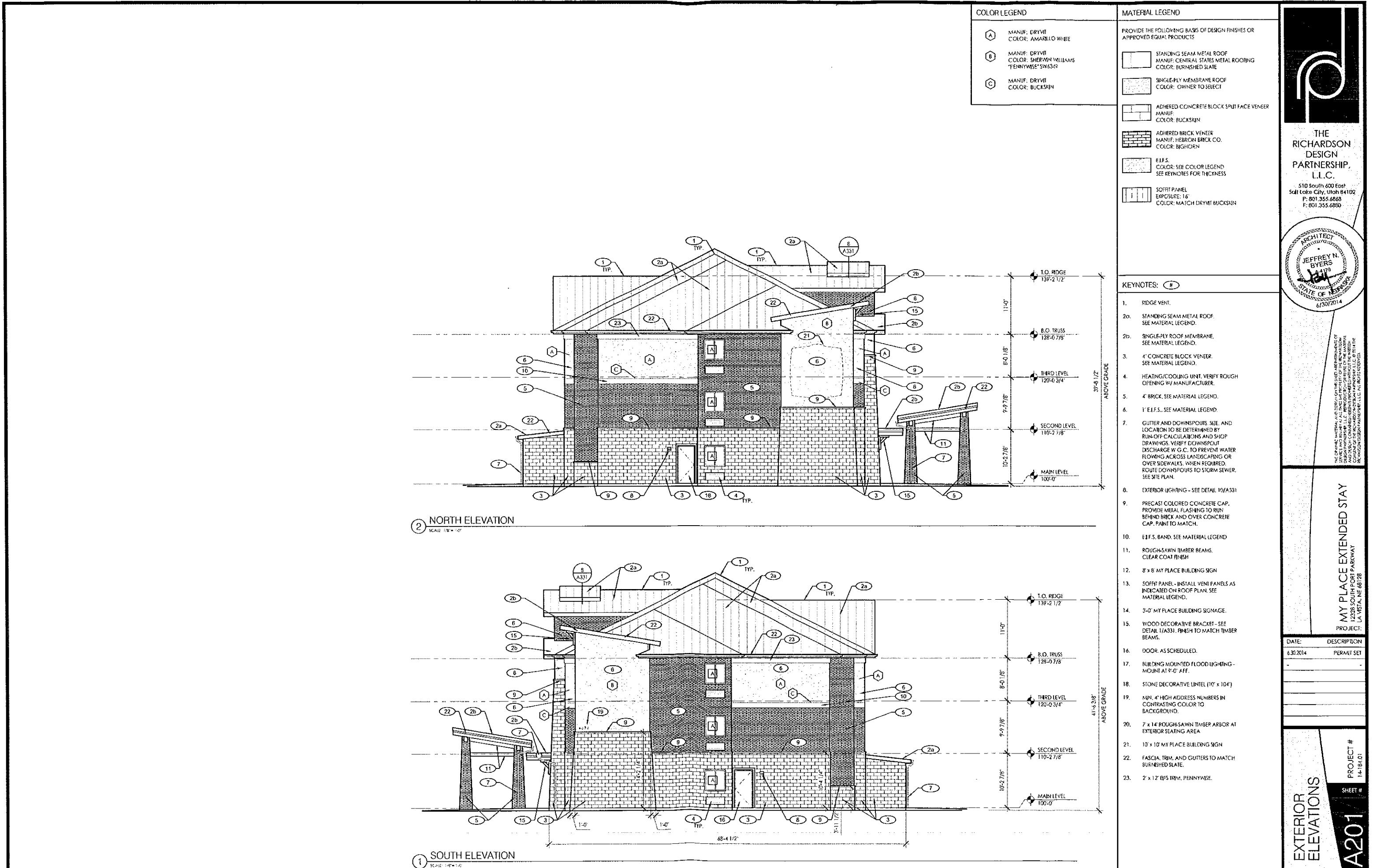
TREE PLANTING DETAIL - B & B TREE

NOT TO SCALE

E & A CONSULTING GROUP, INC.		
Engineering • Planning • Environmental & Field Services		
300 North 17th Street Omaha, NE 68154 Phone: 402.935.4700 Fax: 402.935.3599 www.eacg.com		
811	Know what's below. Call before you dig.	Photo ID: 000
Rev. -	Date -	Comment -
DRAWN BY: _____		
DESIGN BY: _____		
ISSUE DATE: _____		
PROFESSIONAL CONSULTANT CITY OF OMAHA STATE OF NEBRASKA CONTRACT NO. 105-1400		
PRELIMINARY CONSTRUCTION DRAWINGS LANDSCAPE PLAN L100		







GENERAL NOTES:  
FOR DUMPSTER LOCATIONS SEE  
CIVIL SHEETS



THE  
RICHARDSON  
DESIGN  
PARTNERSHIP,  
L.L.C.

510 South 400 East  
Salt Lake City, Utah 84102  
P: 801.355.6868  
F: 801.355.6880

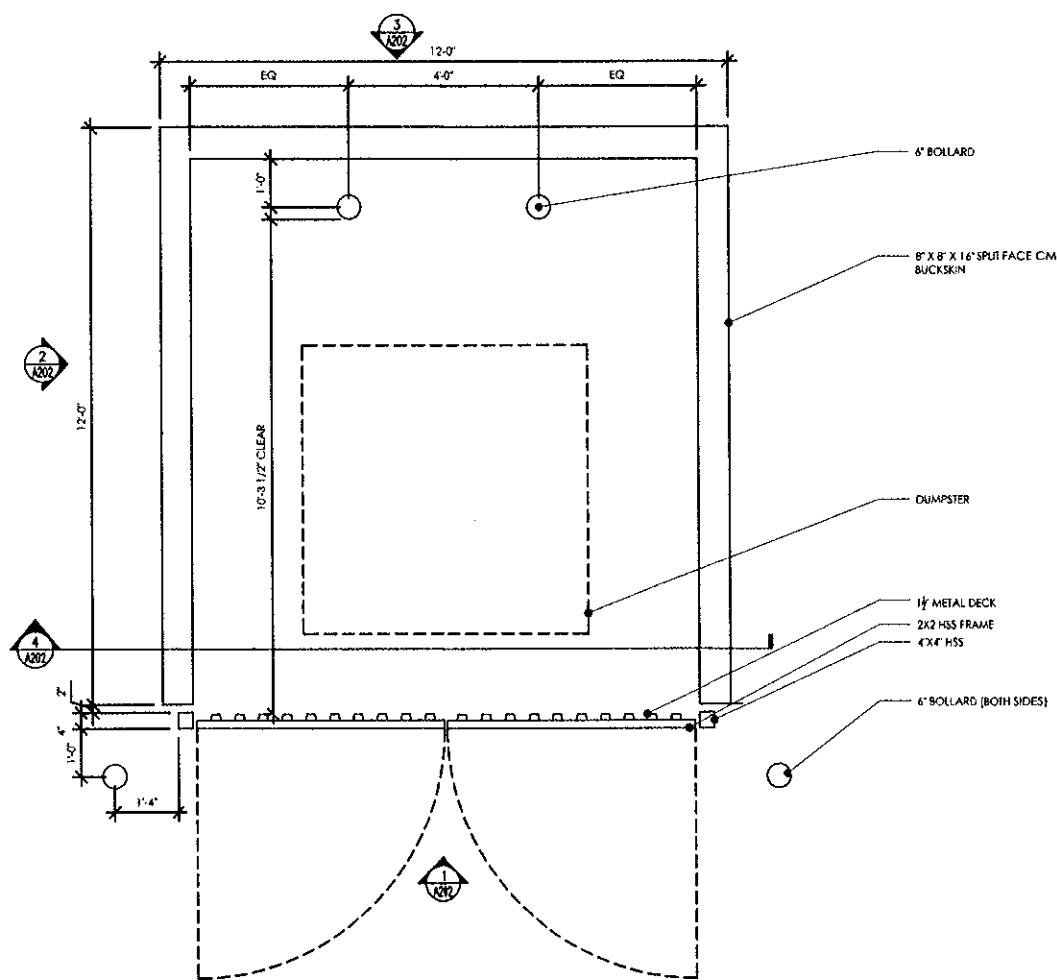
THE GRAPHIC MATERIAL AND DESIGN ON THIS SHEET ARE THE PROPERTY OF  
THE RICHARDSON DESIGN PARTNERSHIP, L.L.C. REPRODUCTION OR USE OF THE MATERIAL  
AND DESIGN, IN PART OR IN WHOLE, IS PROHIBITED WITHOUT THE WRITTEN  
CONSENT OF THE RICHARDSON DESIGN PARTNERSHIP, L.L.C. ALL RIGHTS RESERVED.

MY PLACE EXTENDED STAY  
LA VISTA, NE

PROJECT:

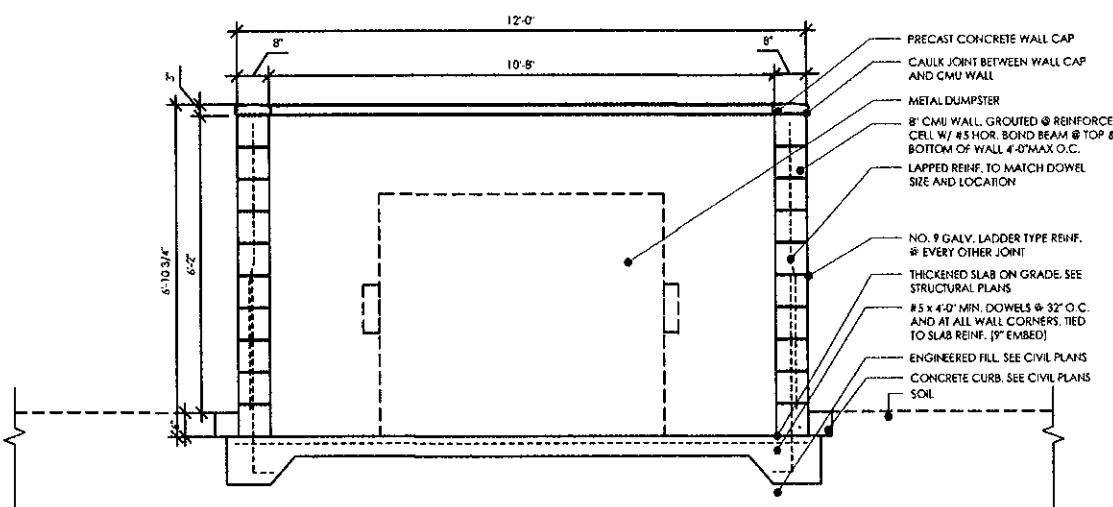
DATE: DESCRIPTION

DUMPSTER  
ENCLOSURE  
A202  
PROJECT #  
1418-01



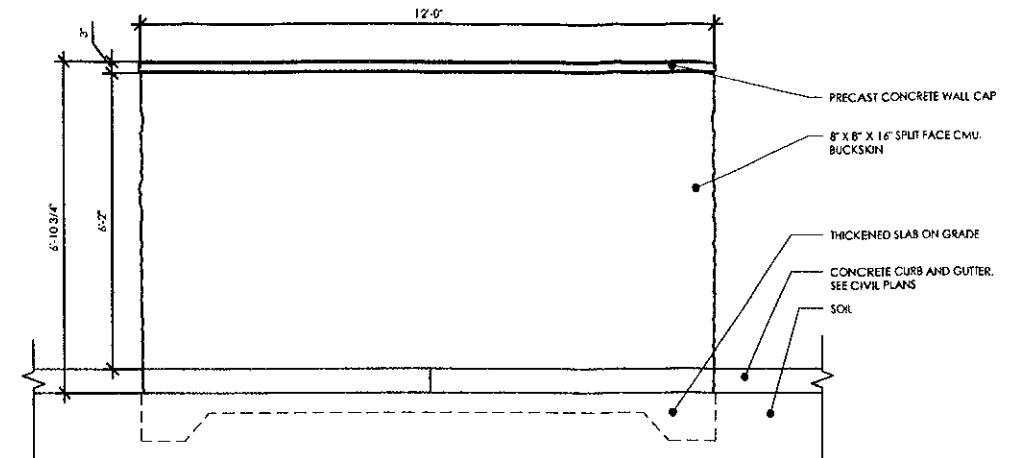
5 FLOOR PLAN

SCALE: 1/2" = 1'-0"



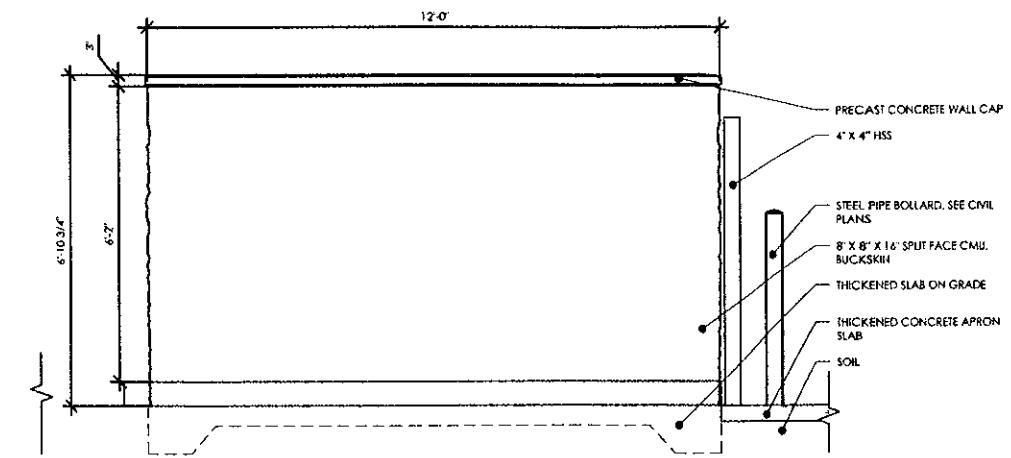
4 ENCLOSURE SECTION

SCALE: 1/2" = 1'-0"



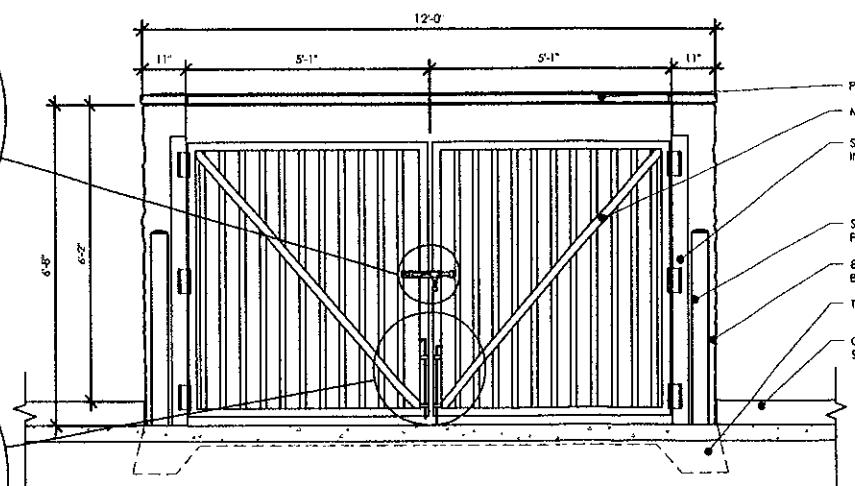
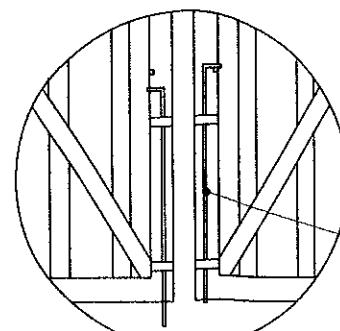
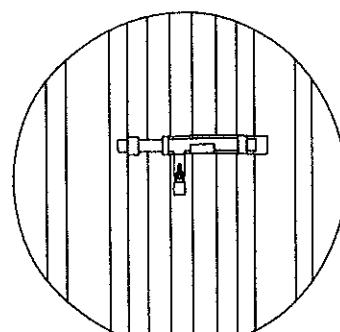
3 REAR ELEVATIONS

SCALE: 1/2" = 1'-0"



2 SIDE ELEVATIONS

SCALE: 1/2" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/2" = 1'-0"

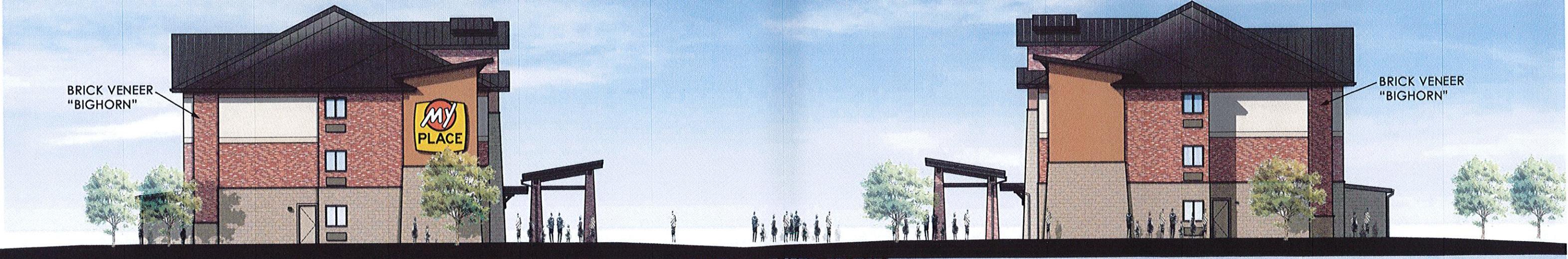


# MyPlace Hotel

La Vista, Nebraska



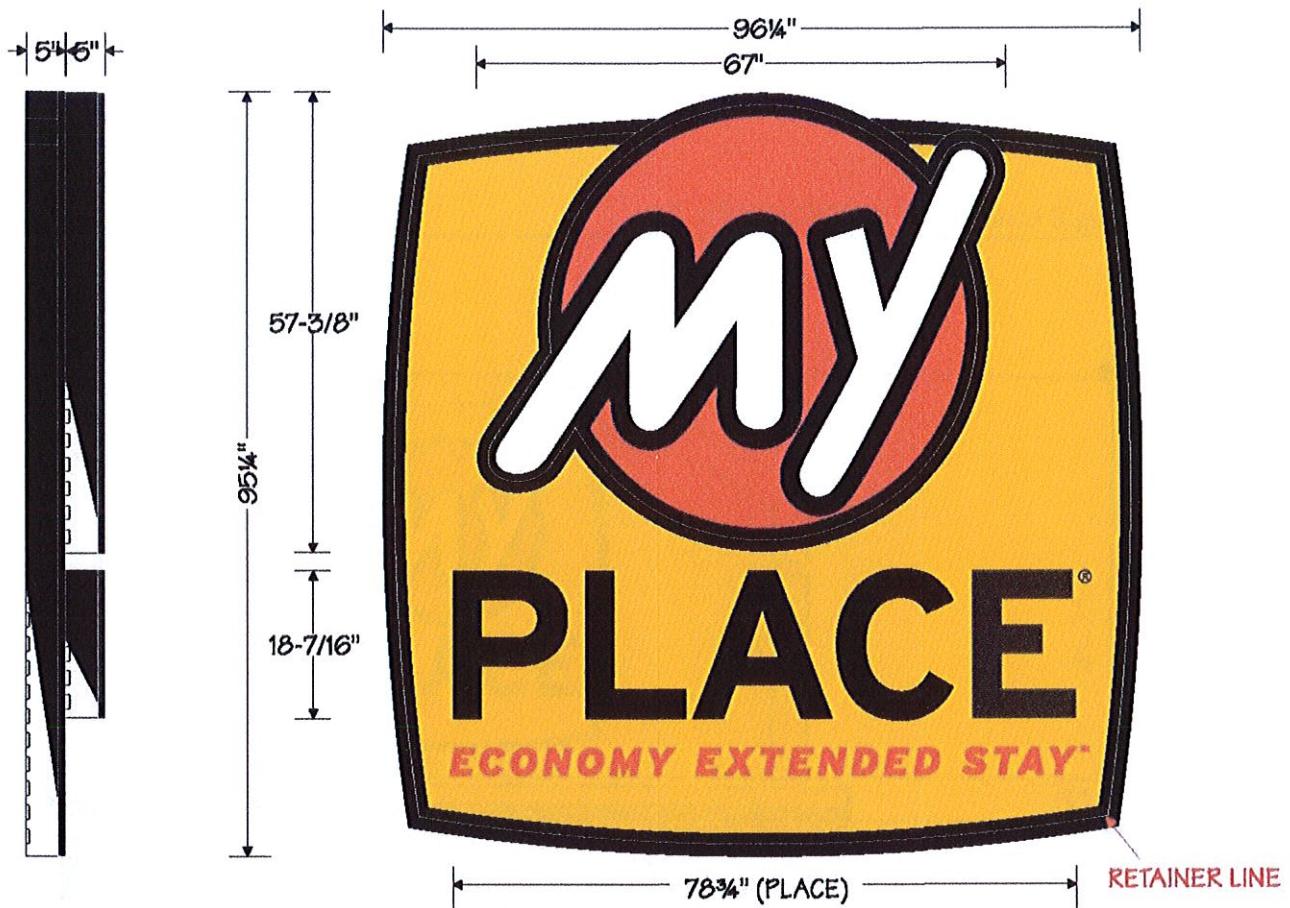
FRONT ELEVATION



SIDE ELEVATIONS



REAR ELEVATION



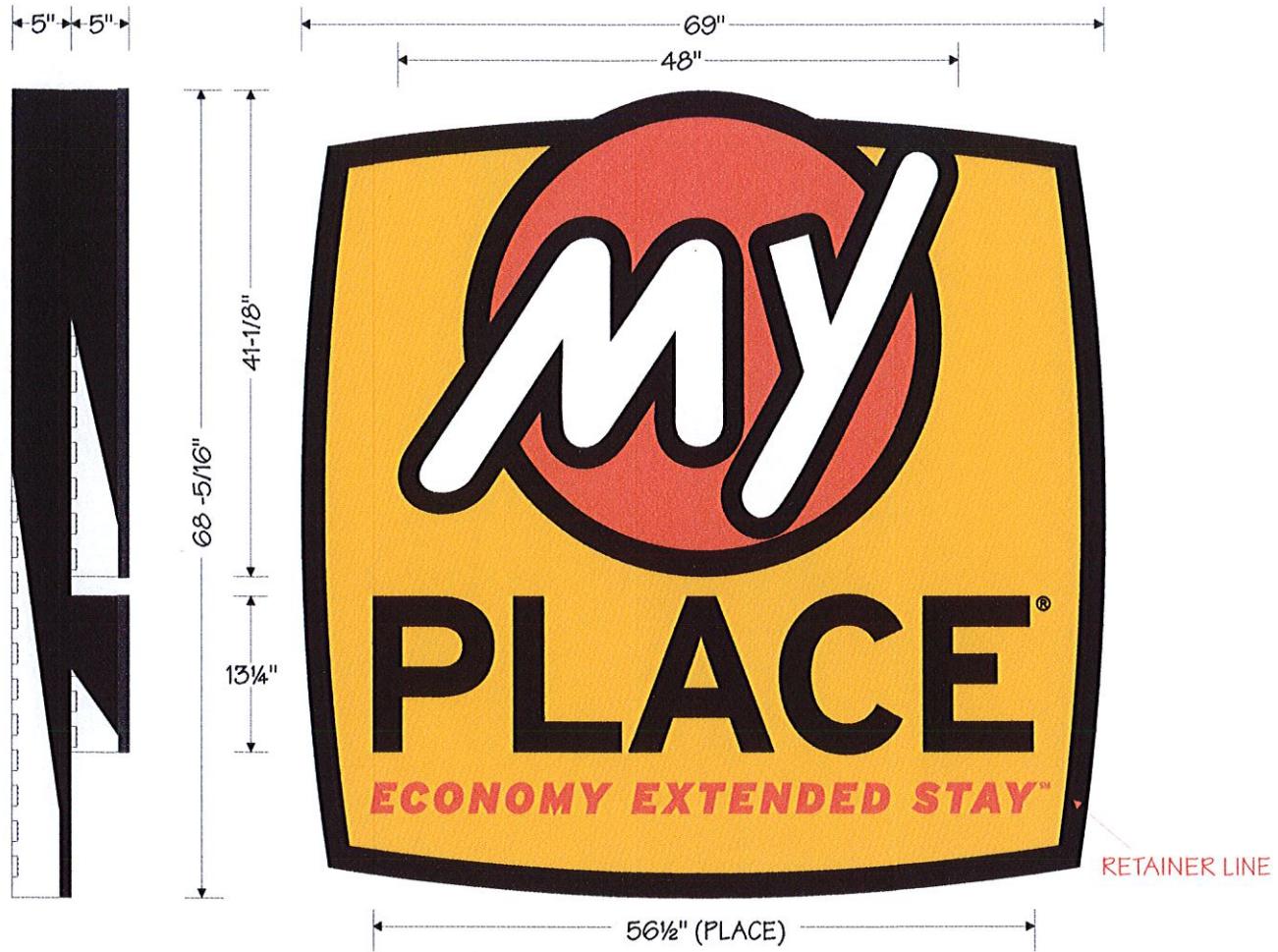
SPECIFICATIONS: QTY. 2

\*95 1/4" x 96 1/4" EXTERIOR INDIVIDUALLY MOUNTED CHANNEL CAN  
 - .080 PRE-PAINTED WHITE ALUMINUM BACK  
 - 5" (.063) ALUMINUM RETURNS PAINTED BLACK WITH WEEP HOLES  
 - .150 WHITE POLYCARBONATE FACE WITH FIRST SURFACE DECORATION  
 - BACKGROUND COLOR: 3630-015 YELLOW WITH A 3630-22 BLACK BORDER  
 - ECONOMY EXTENDED STAY SM: 3630-33 RED  
 - @: 3630-22 BLACK VINYL  
 - 1 1/2" RETAINERS PAINTED BLACK  
 - ILLUMINATED WITH JT WHITE LED'S IN A GRID PATTERN  
 - WIRING: 120V REMOTE LED POWER SUPPLIES  
 - UL LABEL  
 - ELECT. OUT: PRODUCTION DISCRETION

\* PLACE: CHANNEL LETTERS MOUNTED TO 95 1/4" X 96 1/4" CHANNEL CAN  
 - .063 PRE-PAINTED WHITE ALUMINUM BACK  
 - 5" (.040) PRE-PAINTED BLACK ALUMINUM RETURNS WITH WEEP HOLES  
 - .118 #2447 WHITE PLEX FACES WITH 3635-222 BLACK PERFORATED VINYL APPLIED TO FIRST SURFACE  
 - 1" BLACK TRIMCAP  
 - ILLUMINATED WITH ONE ROW OF JT WHITE LED'S  
 - WIRING: 120V REMOTE LED POWER SUPPLIES  
 - UL LABEL  
 - ELECTRICAL OUT: PRODUCTION DISCRETION

\* MY: CHANNEL CAN MOUNTED TO 95 1/4" X 96 1/4" CHANNEL CAN  
 - .063 PRE-PAINTED WHITE ALUMINUM BACK  
 - 5" (.063) ALUMINUM RETURNS PAINTED BLACK WITH WEEP HOLES  
 - .150 WHITE POLYCARBONATE FACE WITH FIRST SURFACE DECORATION  
 - COLORS: 3630-22 BLACK & 3630-33 RED  
 - 1 1/2" RETAINER PAINTED BLACK  
 - ILLUMINATED WITH JT WHITE LED'S IN A GRID PATTERN  
 - WIRING: 120V REMOTE LED POWER SUPPLIES  
 - UL LABEL  
 - ELECTRICAL OUT: PRODUCTION DISCRETION





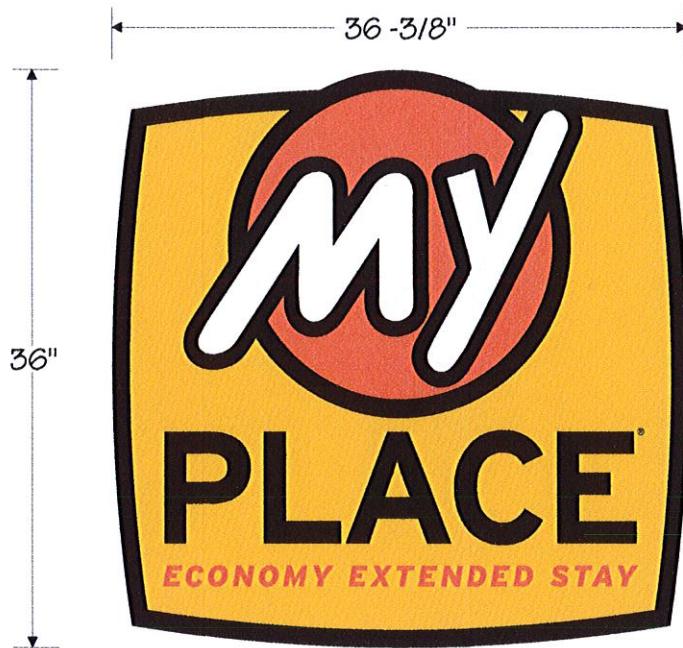
SPECIFICATIONS: QTY 1

- \* 68 -5/16" x 69" EXTERIOR INDIVIDUALLY MOUNTED CHANNEL CAN
- .080 PRE-PAINTED WHITE ALUMINUM BACK
- 5" (.063) ALUMINUM RETURNS PAINTED BLACK WITH WEEP HOLES
- .150 WHITE POLYCARBONATE FACE WITH FIRST SURFACE DECORATION
- BACKGROUND COLOR: 3630-015 YELLOW WITH A 3630-22 BLACK BORDER
- ECONOMY EXTENDED STAY SM: 3630-33 RED
- @: 3630-22 BLACK VINYL
- 1 1/2" RETAINERS PAINTED BLACK
- ILLUMINATED WITH JT WHITE LED'S IN A GRID PATTERN
- WIRING: 120V REMOTE LED POWER SUPPLIES
- UL LABEL
- ELECT. OUT: PRODUCTION DISCRETION

- \* MY: CHANNEL CAN MOUNTED TO 68-5/16" X 69" CHANNEL CAN
- .063 PRE-PAINTED WHITE ALUMINUM BACK
- 5" (.063) ALUMINUM RETURNS PAINTED BLACK WITH WEEP HOLES
- .150 WHITE POLYCARBONATE FACE WITH FIRST SURFACE DECORATION
- COLORS: 3630-22 BLACK & 3630-33 RED
- 1" RETAINER PAINTED BLACK
- ILLUMINATED WITH JT WHITE LED'S IN A GRID PATTERN
- WIRING: 120V REMOTE LED POWER SUPPLIES
- UL LABEL
- ELECTRICAL OUT: PRODUCTION DISCRETION

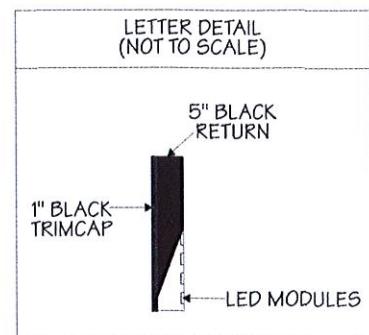
- \* PLACE: CHANNEL LETTERS MOUNTED TO 68-5/16" X 69" CHANNEL CAN
- .063 PRE-PAINTED WHITE ALUMINUM BACK
- 5" (.040) PRE-PAINTED BLACK ALUMINUM RETURNS WITH WEEP HOLES
- .118 #2447 WHITE PLEX FACES WITH 3635-222 BLACK PERFORATED VINYL APPLIED TO FIRST SURFACE
- 1" BLACK TRIMCAP
- ILLUMINATED WITH ONE ROW OF JT WHITE LED'S
- WIRING: 120V REMOTE LED POWER SUPPLIES
- UL LABEL
- ELECTRICAL OUT: PRODUCTION DISCRETION





### Specifications:

- \* Individually mounted self contained exterior channel can
  - (.063) prepainted white aluminum back
  - 5" (.040) prepainted black return with weep holes
  - (.177) 7328 white plex face with 3630-33 red vinyl, 3630-015 yellow vinyl, and 3630-22 black vinyl applied to first surface
  - 1" black tulip
  - Illuminated with sloan white long gen IV LEDs in a grid pattern
  - Wired: 120V - 12 VDC - LED power supply(s) mounted internally
  - Elect. Outs: out back center
  - Switch on return
  - UL label







My Place Hotels of America, LLC

PO Box 4850

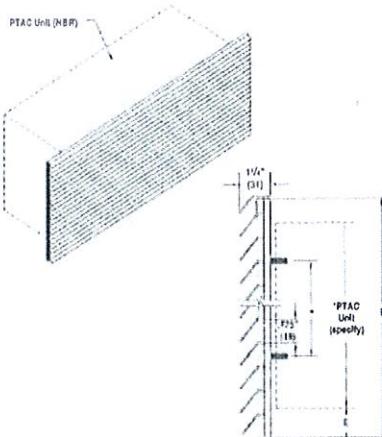
Aberdeen, SD 57402-4850

P: 605-229-8685

F: 605-229-8916

**BUILDERS HARDWARE SPECIFICATIONS**

<b>Project Name:</b>	My Place Hotel	<b>Supplier Contact:</b>	Quest Hospitality Suppliers 1910 8th Ave NE Aberdeen, SD 57401 800-456-3441
<b>Spec #:</b>	B072	<b>Area of Use:</b>	Guest Rooms/Back of House
<b>Description:</b>	Architectural Grilles	<b>Manufacturer:</b>	Reliable Products
<b>Item #:</b>		<b>Color/Finish:</b>	Dark Bronze
<b>Model/Style:</b>	Reliable Products	<b>Dimensions:</b>	47 1/2" x 24"
	Baked Enamel Grill w/Blank Off #186 Perimeter Frame PTAC Sleeve To Be Centered On Grille		



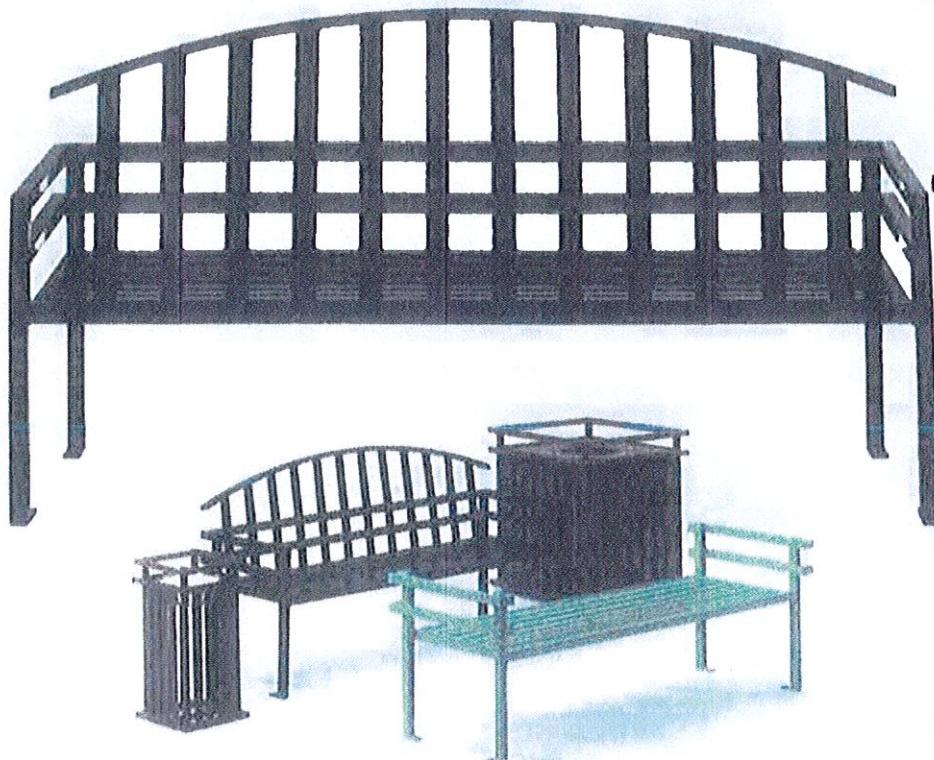
Issue Date: 3/5/14

Revision Date:

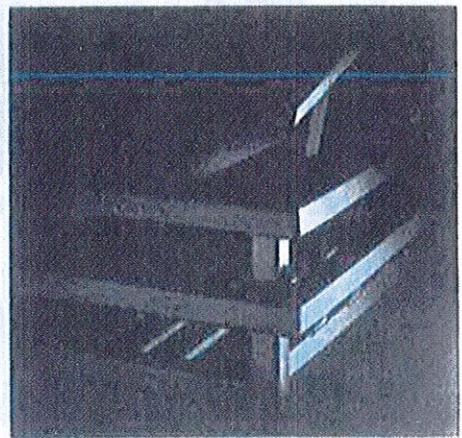


## McCONNELL SERIES

(Patent No. Des. 413,449)



1-	MC24	McConnell bench w/back 4'
1-	MC26	McConnell bench w/back 6'
	MC28	McConnell bench w/back 8'
	MC14	McConnell flat bench 4'
	MC16	McConnell flat bench 6'
	MC18	McConnell flat bench 8'
1-	MC3-22	McConnell litter 22 gal.
	MC3-32	McConnell litter 32 gal.
	MC5	McConnell ash urn
	MC5a	McConnell ash/mash combo



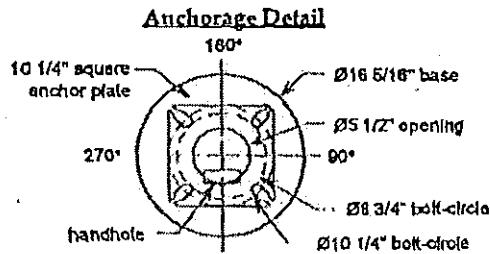
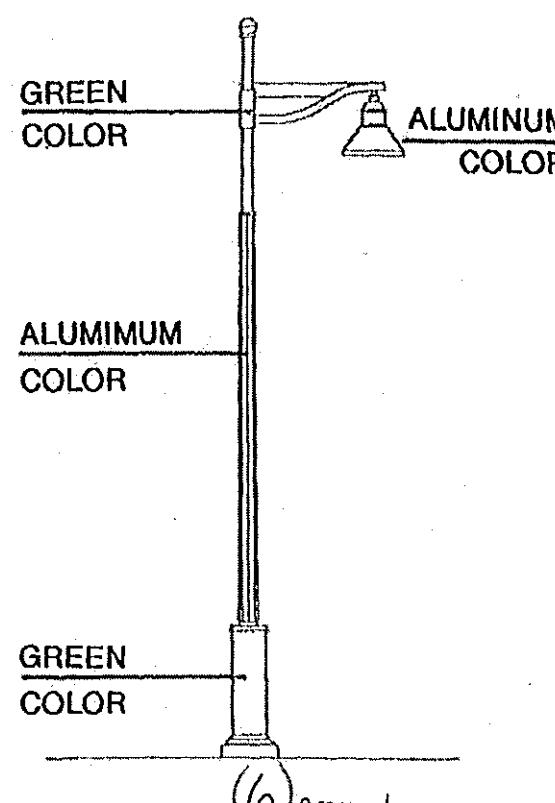
All site furnishings shall be McConnell series benches with back, Mc24, Mc26, Mc28; McConnell ash urn, Mc5, Mc5a, and trash receptacles, Mc3-22, Mc3-32.

**All shall be turtle green RAL6009 powder coated finish.**

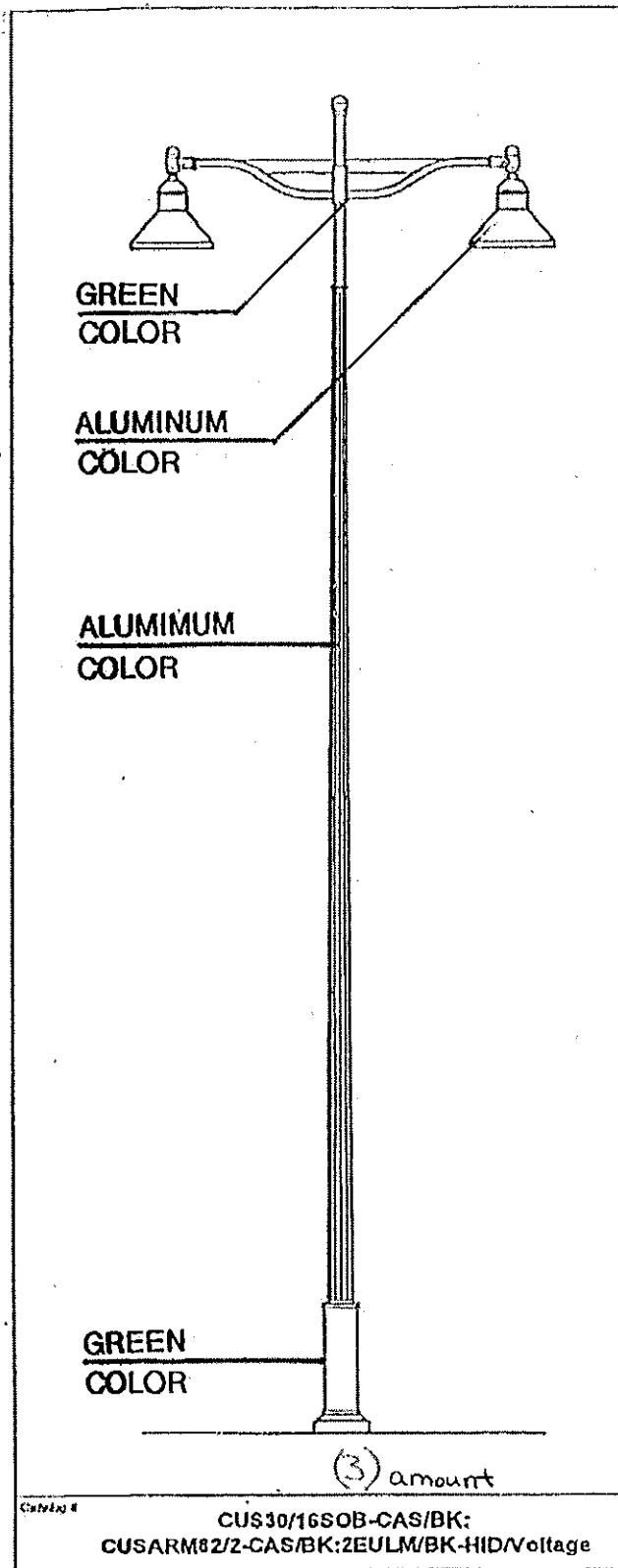
Manufactured by Keystone Ridge Designs. 1-800-284-8208



## 19. APPENDIX H: Site Lighting - Pedestrian Plaza And Feature Lights

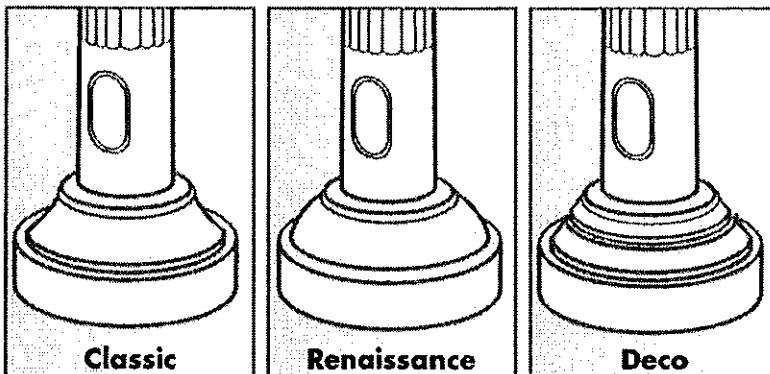
Custom Series Aluminum & Steel Post											
<p><b>Post:</b> Post shall be aluminum and steel construction, consisting of an 11-gauge, 8-sharp flat flute steel shaft with a custom tenon for luminaire arm mounting, and a spun aluminum slipover base. A handhole is located near the shaft base for wiring access.</p> <p><b>Arm:</b> Luminaire arm shall be a two-way of steel construction, consisting of center extension with ball finial, (2) upswung arms with cast aluminum end filters with 1 1/2" NPT fitting for luminaire mounting. The crossarm measures 36" from post center to luminaire centers.</p> <p><b>Luminaire:</b> Luminaire shall be 17 1/2" x 18" tall with flat lens panel, cast aluminum ballast housing and munich-series luminaire dome.</p> <p>Luminaire shall be furnished with a high intensity discharge ballast and horizontal socket assembly.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Lamp Type</th><th>Mercury Vapor</th><th>Metal Halide</th><th>High Pressure Sodium</th><th>Voltage</th></tr> </thead> <tbody> <tr> <td>HID Socket Size</td><td><input type="checkbox"/> H-150 <input type="checkbox"/> H-MED <input type="checkbox"/> H-HG</td><td><input type="checkbox"/> H-M60 <input type="checkbox"/> H-176 <input type="checkbox"/> H-1100 <input type="checkbox"/> H-1175</td><td><input type="checkbox"/> H-S35 <input type="checkbox"/> H-S50 <input type="checkbox"/> H-M100 <input type="checkbox"/> H-M160 <input type="checkbox"/> H-M175</td><td><input type="checkbox"/> H-120 <input type="checkbox"/> H-200 <input type="checkbox"/> H-240 <input type="checkbox"/> H-277 <input type="checkbox"/> H-480 <input type="checkbox"/> H-QV</td></tr> </tbody> </table> <p><b>Anchorage:</b> Post shall be furnished with (4) 3/4" x 17" x 3" hot-dip galvanized L-type anchor bolts, to be installed with a 3 1/2" projection each.</p> <p><b>Finish:</b> Post, arm, and luminaires shall be furnished with a powder coat finish.</p> <p><b>Anchorage Detail:</b></p>  <p><b>Notes:</b> All hardware shall be stainless steel. All easily accessible exterior hardware shall be tamper resistant. Post Height: 14'-0"      Overall Height: 18'-0" Base Diameter: 16 9/16"Ø</p>	Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage	HID Socket Size	<input type="checkbox"/> H-150 <input type="checkbox"/> H-MED <input type="checkbox"/> H-HG	<input type="checkbox"/> H-M60 <input type="checkbox"/> H-176 <input type="checkbox"/> H-1100 <input type="checkbox"/> H-1175	<input type="checkbox"/> H-S35 <input type="checkbox"/> H-S50 <input type="checkbox"/> H-M100 <input type="checkbox"/> H-M160 <input type="checkbox"/> H-M175	<input type="checkbox"/> H-120 <input type="checkbox"/> H-200 <input type="checkbox"/> H-240 <input type="checkbox"/> H-277 <input type="checkbox"/> H-480 <input type="checkbox"/> H-QV
Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage							
HID Socket Size	<input type="checkbox"/> H-150 <input type="checkbox"/> H-MED <input type="checkbox"/> H-HG	<input type="checkbox"/> H-M60 <input type="checkbox"/> H-176 <input type="checkbox"/> H-1100 <input type="checkbox"/> H-1175	<input type="checkbox"/> H-S35 <input type="checkbox"/> H-S50 <input type="checkbox"/> H-M100 <input type="checkbox"/> H-M160 <input type="checkbox"/> H-M175	<input type="checkbox"/> H-120 <input type="checkbox"/> H-200 <input type="checkbox"/> H-240 <input type="checkbox"/> H-277 <input type="checkbox"/> H-480 <input type="checkbox"/> H-QV							
 <p>Qty/Line: 4</p> <p>CUS14/16SOB-CAS/BK: CUSARM72/2-CAS/BK:2EUSM/BK-HID/Voltage</p>	<p>Date: 04-27-01      Scale: none      Job. no.: L-4826G</p> <p><b>ANTIQUE Street Lamps</b> 2011-B West Rundberg Lane • Austin, TX 78704 (512) 977-8444 • Fax (512) 977-9622</p>										

## 20. APPENDIX I: Site Lighting - Parking Lot Lights

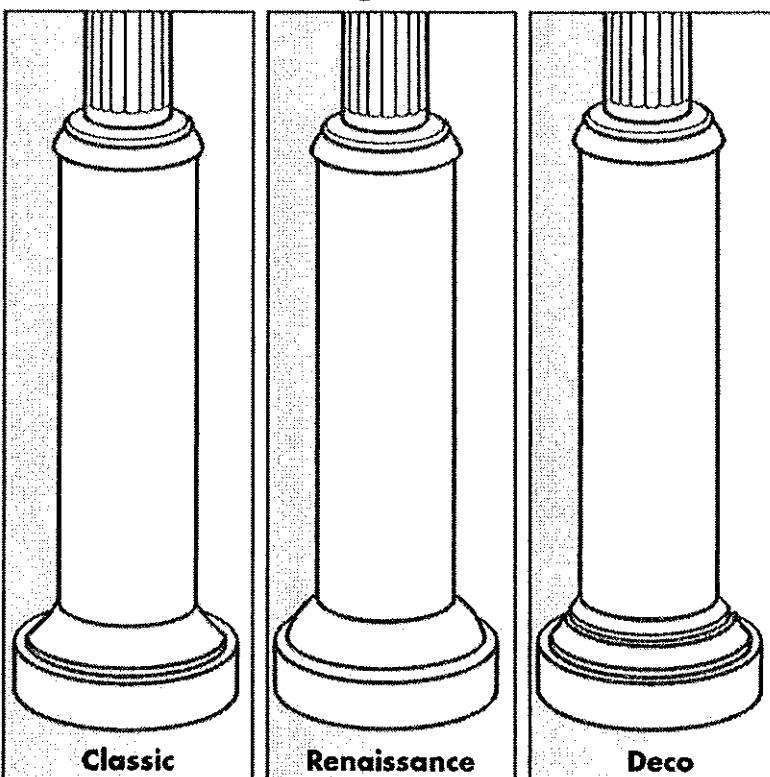


Custom Series Aluminum & Steel Post														
<b>Post:</b> Post shall be aluminum and steel construction, consisting of an 11-gauge, 8-sharp flat flute steel shaft with a custom tenon for luminaire arm mounting, and a spun aluminum slipover base. A handhole is located near the shaft base for wiring access.														
<b>Arm:</b> Luminaire arm shall be a two-way of steel construction, consisting of center extension with ball finial, (2) upswept arms with cast aluminum end filters with 1 1/2" NPT fitting for luminaire mounting. The crossarm measures 61 1/2" from post center to luminaire centers.														
<b>Luminaire:</b> Luminaire shall be 25" Ø x 23" tall with flat lens panel, cast aluminum ballast housing and munich-series luminaire dome.														
Luminaire shall be furnished with a high intensity discharge ballast and horizontal socket assembly.														
<table border="1"> <thead> <tr> <th>Lamp Type</th> <th>Mercury Vapor</th> <th>Metal Halide</th> <th>High Pressure Sodium</th> <th>Voltage</th> </tr> </thead> <tbody> <tr> <td>HID Socket Size</td> <td><input type="checkbox"/> H60 <input type="checkbox"/> H76 <input type="checkbox"/> H100 <input type="checkbox"/> H176 <input type="checkbox"/> H250</td> <td><input type="checkbox"/> M60 <input type="checkbox"/> M70 <input type="checkbox"/> M100 <input type="checkbox"/> M160 <input type="checkbox"/> M176 <input type="checkbox"/> M250</td> <td><input type="checkbox"/> S38 <input type="checkbox"/> S50 <input type="checkbox"/> S70 <input type="checkbox"/> S100 <input type="checkbox"/> S160 <input type="checkbox"/> S260</td> <td><input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 480 <input type="checkbox"/> QV</td> </tr> </tbody> </table>					Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage	HID Socket Size	<input type="checkbox"/> H60 <input type="checkbox"/> H76 <input type="checkbox"/> H100 <input type="checkbox"/> H176 <input type="checkbox"/> H250	<input type="checkbox"/> M60 <input type="checkbox"/> M70 <input type="checkbox"/> M100 <input type="checkbox"/> M160 <input type="checkbox"/> M176 <input type="checkbox"/> M250	<input type="checkbox"/> S38 <input type="checkbox"/> S50 <input type="checkbox"/> S70 <input type="checkbox"/> S100 <input type="checkbox"/> S160 <input type="checkbox"/> S260	<input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 480 <input type="checkbox"/> QV
Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage										
HID Socket Size	<input type="checkbox"/> H60 <input type="checkbox"/> H76 <input type="checkbox"/> H100 <input type="checkbox"/> H176 <input type="checkbox"/> H250	<input type="checkbox"/> M60 <input type="checkbox"/> M70 <input type="checkbox"/> M100 <input type="checkbox"/> M160 <input type="checkbox"/> M176 <input type="checkbox"/> M250	<input type="checkbox"/> S38 <input type="checkbox"/> S50 <input type="checkbox"/> S70 <input type="checkbox"/> S100 <input type="checkbox"/> S160 <input type="checkbox"/> S260	<input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 480 <input type="checkbox"/> QV										
<b>Anchorage:</b> Post shall be furnished with (4) 1" x 36" x 3" hot-dip galvanized L-type anchor bolts, to be installed with a 4 1/8" projection each.														
<b>Finish:</b> Post, arm, and luminaires shall be furnished with a 'black' powder coat finish.														
<p style="text-align: center;"><b>Anchorage Detail</b></p> <p>11 5/8" square anchor plate</p> <p>Ø16 5/16" base</p> <p>Ø7 1/2" opening</p> <p>Ø11" bolt-circle</p> <p>Ø12 5/8" bolt-circle</p> <p>handhole</p> <p>0° 90° 270° 100°</p>														
<b>Notes:</b> All hardware shall be stainless steel. All easily accessible exterior hardware shall be tamper resistant. Post Height: 30'-0"      Overall Height: 36'-0" Base Diameter: 16 9/16"Ø														
date: 04-27-01	scale: none	dwg. no.:	L- 4826E											
<b>ANTIQUE Street Lamps</b> 2011-B West Rundberg Lane • Austin, TX 78758 (512) 977-8444 • Fax (512) 977-9622														

**"BCAS" Low Base Series**



**"BCAF" High Base Series**



**SPECIFICATIONS**

**Low Bases "BCAS" Series:** Low base assemblies are manufactured from one-piece spun aluminum and are non-structural in nature. The aluminum is alloy 1100 and spun to an approximate thickness of .125" to minimize vandalism and damage. The top hole that the pole passes through is punched based on the specified pole base diameter. The low bases can accommodate poles with base diameters of 6", 7", 8" and 9". A soft radius area is punched out of one side to allow clearance for the semi-flush handhole. The base is sanded after spinning to provide an appropriate surface for adhesion of powder coated finish.

**High Bases "BCAF" Series:** High base assemblies are manufactured by factory assembling two one-piece spun aluminum collars and a section of 10" diameter extruded tube. These bases are designed to be non-structural in nature. The aluminum used in the spun collars is alloy 1100 and .125" thick to minimize vandalism and damage. The extruded tube is .188" wall alloy 6063 aluminum. The top hole that the pole passes through is punched based on the specified pole base diameter. The components are welded together at the factory with all welds located on the inside away from view. A flush 4" x 6" handhole is provided at 11" above the top of the base to align with the pole handhole. This allows access to wiring without lifting the base. The high base assemblies can accommodate poles with base diameters of 6", 7" and 8". These bases are not available for 9" diameter base poles. The entire base assembly is sanded after spinning to provide an appropriate surface for adhesion of powder coated finish and to conceal the handhole.

**Installation of Base Assembly:** Bases are designed for "Drop-Over" installation and must be placed over the top of the pole during erection. This must occur prior to mounting of luminaires and luminaire arms to the pole. This approach provides for a clean seamless appearance when installation is complete.

**Finishes:** The finish for the base assemblies is polyester powder applied coating in accordance with Valmont Industries' Specifications. Base assemblies may have finishes selected individually to match pole or elements of the pole top assembly.

**CATALOG LOGIC**

BASE	MATERIAL	STYLE	SIZE	POLE BASE DIAMETER	FINISH
<b>B C</b>	<b>A F</b>	<b>C</b>	<b>H</b>	<b>8</b>	<b>S C</b>
<b>BASE</b> BC = Base Assembly	<b>MATERIAL</b> AS = Spun Aluminum Drop-over AF = Fabricated Spun and Extruded Aluminum Drop-over	<b>STYLE</b> C = Classic R = Renaissance D = Deco	<b>SIZE<sup>①</sup></b> L = low H = High	<b>POLE BASE DIAMETER</b> 6 = 6" 7 = 7" 8 = 8" 9 = 9"	<b>FINISH</b> WH = White BK = Black MB = Medium Bronze SG = Slate Grey ST = Sandstone SL = Silver BR = Burgundy RD = Red CG = Copper Green BG = Blue Green HG = Hunter Green AB = Azure Blue BV = Dark Blue Violet SC = Special Color (Please Specify)

<sup>①</sup>"H" high base is not available for 9" base diameter poles.



## BASE ASSEMBLIES "BCAS" AND "BCAF" SERIES

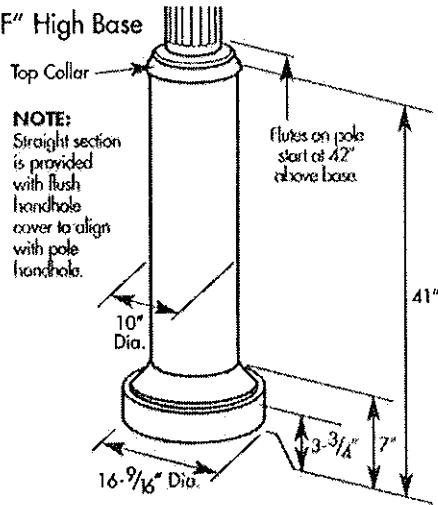
**valmont**

STRUCTURES

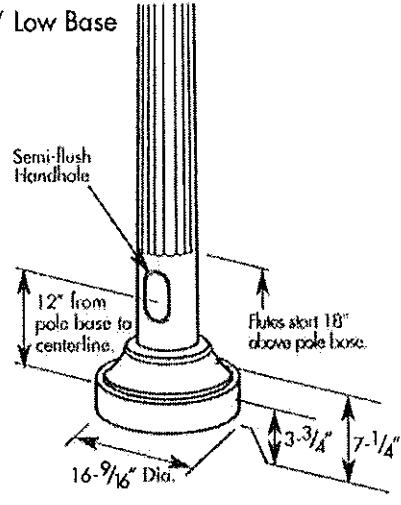
CITY QUARTZ STEEL

### CLASSIC DIMENSIONS

"BCAF" High Base



"BCAS" Low Base

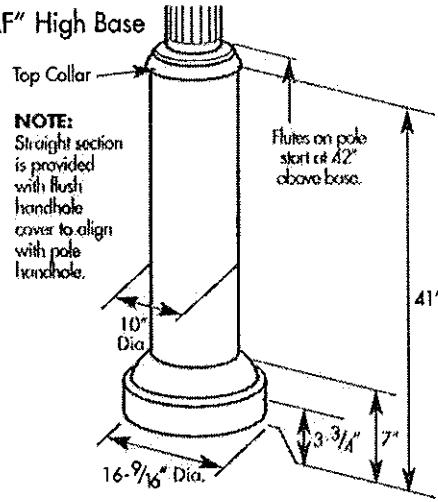


#### SPECIFICATION NOTES

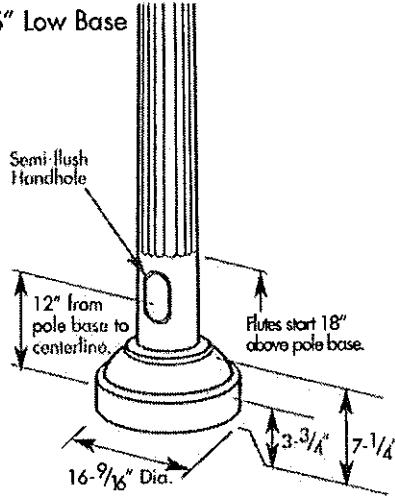
- "BCAF" series high bases are designed for use with poles having "HT" or "HS" fluting layouts. They may also be used with City Quartz smooth "210" series poles. "BCAF" bases will not fit up to poles with "LT" or "LS" fluting patterns.
- "BCAS" series low bases may be used with all City Quartz fluted or smooth poles.

### RENAISSANCE DIMENSIONS

"BCAF" High Base



"BCAS" Low Base

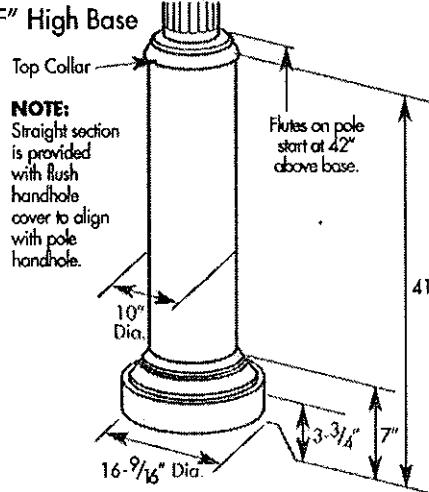


#### SPECIFICATION NOTES

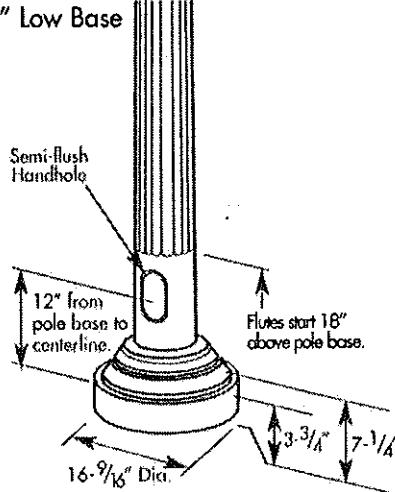
- "BCAF" series high bases are designed for use with poles having "HT" or "HS" fluting layouts. They may also be used with City Quartz smooth "210" series poles. "BCAF" bases will not fit up to poles with "LT" or "LS" fluting patterns.
- "BCAS" series low bases may be used with all City Quartz fluted or smooth poles.

### DECORATIVE DIMENSIONS

"BCAF" High Base

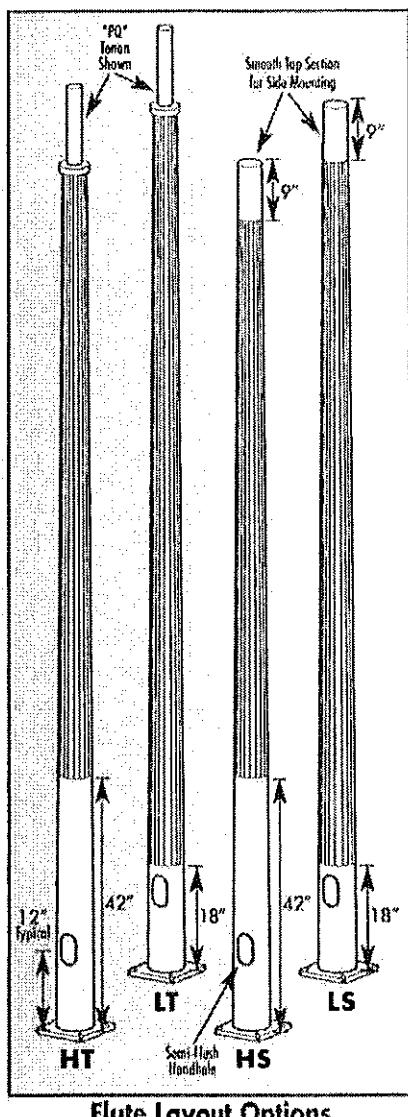


"BCAS" Low Base



#### SPECIFICATION NOTES

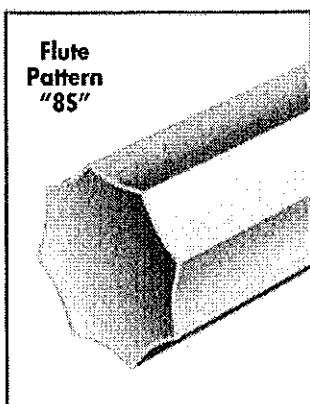
- "BCAF" series high bases are designed for use with poles having "HT" or "HS" fluting layouts. They may also be used with City Quartz smooth "210" series poles. "BCAF" bases will not fit up to poles with "LT" or "LS" fluting patterns.
- "BCAS" series low bases may be used with all City Quartz fluted or smooth poles.



**Flute Layout Options**

## SPECIFICATIONS

**Pole:** Fluted poles are formed from tubes conforming to the ASTM A595 process with a constant linear taper of 0.14"/ft. The wall thickness is available in 11 ga. (0.1196") or 7 ga. (0.1793"). The tube's seam weld is formed by the Electric Resistance Weld (ERW), and is smooth with no visual appearance.



**Fluting Process:** The poles are cold rolled over a precision hardened steel mandrel to form the fluted shape indicated. The fluted shaft has uniform Doric flutes. The flutes are formed with rollers in full contact with the material from the top of the crest, through the valley of the flute, to the top of the next crest. The termination of the flutes is no greater than 1-1/2" radii transition into the round section of the pole.

**Semi-flush Handhole:** The reinforcing handhole rim consists of a nominal 2-1/2" x 5" oval shaped pipe material. The handhole is provided with a steel attachment bar, steel cover and one round head machine screw. The handhole is welded with the rim extending 1/4" out of the pole shaft and shaped to match the diameter of the pole.

**Pole Top Tenon:** Pole top tenons are fabricated from structural quality hot rolled carbon steel with yield strength of 30,000 psi. A pole top plate of hot rolled commercial quality carbon steel is welded to the top of the pole shaft.

**Anchor Bolts and Base Plate:** Anchor bolts are fabricated from carbon steel bar conforming to the requirements of ASTM F1554, Grade 55. The upper 12" of the bolts are hot dip galvanized per ASTM A153. Each anchor bolt is supplied with two hex nuts and two flat washers. Base plates conform to ASTM A36 and are integrally welded to the tubes with a socket welded joint.

**Pole Top Cap:** A removable cap is provided in conjunction with drilled shafts for direct luminaire arm attachment.

**Decorative Nut Covers:** The optional decorative nut covers are manufactured of a sandcast aluminum alloy 356.2 and are attached to the pole using stainless steel, self tapping hex head screws.

**Electrical Ground:** A nut holder is provided near the handhole and includes a 1/2" - 13UNC hex head bolt and nut.

**Finish:** The finish for the pole is polyester powder applied coating in accordance with Valmont Industries' Specifications.

## CATALOG LOGIC

SERIES	MATERIAL	BASE DIAMETER	POLE CROSS SECTION	SHAFT THICKNESS	FLUTE LAYOUT	LENGTH	Fixture MOUNTING	FINISH	OPTIONS
<b>C Q</b>	<b>S</b>	<b>8</b>	<b>8 S</b>	<b>A F H T</b>	<b>3 0 0</b>	<b>P Q S C</b>			
<b>OPTIONS</b>									
<b>NC</b> = Fluted Nut Covers									
<b>SL</b> = Special Pole Length (Please Specify)									
<b>POLE CROSS SECTION</b>	<b>SHAFT THICKNESS</b>	<b>FLUTE LAYOUT</b>	<b>LENGTH</b>	<b>Fixture MOUNTING</b>					
8S=8 Sharp Flute	AF=11 Ga. Fluted	HT = Start 42" from Base Run to Top of Pole LT = Start 18" from Base Run to Top of Pole HS = Start 42" from Base Stop 9" from Top of Pole LS = Start 18" from Base Stop 9" from Top of Pole	080 = 8'-0" 100 = 10'-0" 120 = 12'-0" 140 = 14'-0" 160 = 16'-0" 180 = 18'-0" 200 = 20'-0" 250 = 25'-0" 300 = 30'-0" 350 = 35'-0" 390 = 39'-0"	PQ = 2-3/8" x 12" Tenon for PT Assembly P2 = 2-3/8" x 4" Tenon PD = 3" x 3" Tenon D2 = Drilling for 1 or 2 Luminaires D4 = Drilling for 2 @ 90, 3 @ 90, or 4 @ 90 D3 = Drilling for 3 @ 120	WH = White BK = Black MB = Medium Bronze SG = Slate Grey ST = Sandstone SL = Silver BR = Burgundy	RD = Red CG = Copper Green BG = Blue Green HG = Hunter Green AB = Azure Blue BV = Dark Blue/Violet SC = Special Color (Please Specify)			
<b>BASE DIA<sup>①</sup></b>									
6=6.00" 7=7.00" 8=8.00" 9=9.00"									
<b>①</b> For available base diameter, wall thickness and length combinations, see Dimensional and Load Data table that follows.									



# 8' TO 39' ROUND TAPERED 8 SHARP FLUTE "8S" SERIES

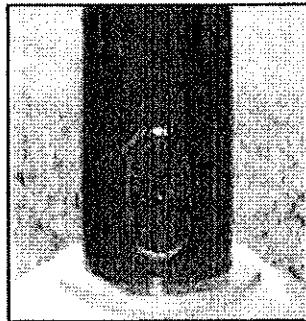
**valmont**
  
STRUCTURES  
CITY QUARTZ STEEL

## ANCHOR BASE AND BOLT DIMENSIONS

### Semi-Flush Steel Reinforced Handhole

The handhole is a unique semi-flush reinforced design.

Rim is curved to match pole diameter in the smooth section of the pole and extends only 1/4" from the pole surface.



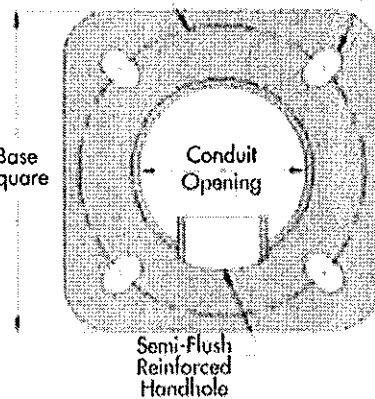
### Cast Nut Cover

When ordering poles without base assembly, cast nut cover option can be specified to provide an attractive pole base finish.

### Anchor Base Detail

Bolt Circle

Bolt Slots



POLE DIA. (IN)	BASE DIMENSIONS (SEE DETAIL)				ANCHOR BOLTS		
	BOLT CIRCLE	BASE SQUARE	CONDUIT OPENING	BASE THK.	BOLT SIZE	BOLT PROJECT.	
6.00"	9.50" $\pm$ 0.50"	10.50"	5.50"	0.75"	0.75" x 17.00" x 3.00"	3.50" $\pm$ 0.25"	
7.00"	10.00" $\pm$ 0.50"	11.00"	6.50"	1.00"	1.00" x 36.00" x 4.00"	4.25" $\pm$ 0.25"	
8.00"	11.00" $\pm$ 0.50"	11.75"	7.50"	1.00"	1.00" x 36.00" x 4.00"	4.25" $\pm$ 0.25"	
9.00" <sup>1</sup>	12.50" $\pm$ 0.50"	12.00"	8.50"	1.25"	1.25" x 42.00" x 6.00"	5.00" $\pm$ 0.25"	
9.00" <sup>2</sup>	12.50" $\pm$ 0.50"	13.50"	8.50"	1.25"	1.25" x 42.00" x 6.00"	5.00" $\pm$ 0.25"	

<sup>1</sup>Pole Diameter includes base cover.

<sup>2</sup>Pole Diameter includes nut covers.

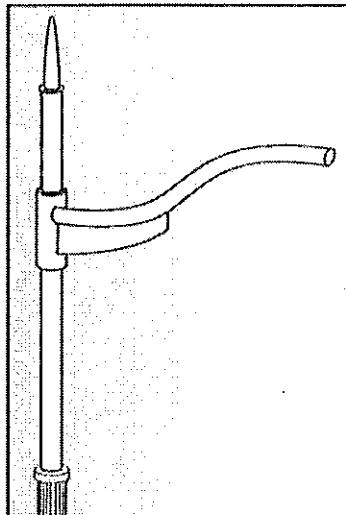
## STANDARD DIMENSIONAL AND LOAD DATA

POLE HEIGHT (FT)	CATALOG NUMBER <sup>①</sup>	SHAFT				80 MPH <sup>②</sup>		90 MPH <sup>③</sup>		100 MPH <sup>④</sup>	
		BASE O.D. (IN)	TOP O.D. (IN)	WALL THK. (GA)	STRUCT. WEIGHT (LBS)	MAX EPA (SQ FT)	MAX WEIGHT (LBS)	MAX EPA (SQ FT)	MAX WEIGHT (LBS)	MAX EPA (SQ FT)	MAX WEIGHT (LBS)
8	CQS-6-8S-AF-[FL]-080-(M)-(F)-(O)	6.00	4.88	11	82	28	260	22	260	18	260
10	CQS-6-8S-AF-[FL]-100-(M)-(F)-(O)	6.00	4.60	11	94	18	260	14	260	11	260
12	CQS-6-8S-AF-[FL]-120-(M)-(F)-(O)	6.00	4.32	11	106	15	260	12	260	9	260
14	CQS-6-8S-AF-[FL]-140-(M)-(F)-(O)	6.00	4.04	11	116	13	260	10	260	7	260
16	CQS-6-8S-AF-[FL]-160-(M)-(F)-(O)	6.00	3.76	11	126	11	260	8	260	6	260
16	CQS-7-8S-AF-[FL]-160-(M)-(F)-(O)	7.00	4.76	11	151	24	260	18	260	14	260
18	CQS-7-8S-AF-[FL]-180-(M)-(F)-(O)	7.00	4.48	11	163	21	260	15	260	12	260
20	CQS-7-8S-AF-[FL]-200-(M)-(F)-(O)	7.00	4.20	11	174	18	260	13	260	10	260
20	CQS-8-8S-AF-[FL]-200-(M)-(F)-(O)	8.00	5.20	11	203	23.5	260	17.5	260	13	260
25	CQS-7-8S-AF-[FL]-250-(M)-(F)-(O)	7.00	3.50	11	199	11	260	8	260	5	260
25	CQS-8-8S-AF-[FL]-250-(M)-(F)-(O)	8.00	4.50	11	234	15.5	260	10.5	260	7.5	260
30	CQS-8-8S-AF-[FL]-300-(M)-(F)-(O)	8.00	3.80	11	261	11	260	7	260	4	260
30	CQS-9-8S-AF-[FL]-300-(M)-(F)-(O)	9.00	4.80	11	307	17.5	260	12	260	8	260
30	CQS-9-8S-EF-[FL]-300-(M)-(F)-(O)	9.00	4.80	7	436	24.5	260	17.5	260	12.5	260
35	CQS-9-8S-AF-[FL]-350-(M)-(F)-(O)	9.00	4.10	11	335	12.5	260	7.5	260	4.5	260
35	CQS-9-8S-EF-[FL]-350-(M)-(F)-(O)	9.00	4.10	7	478	19	260	13	260	8.5	260
39	CQS-9-8S-AF-[FL]-390-(M)-(F)-(O)	9.00	3.54	11	355	9	260	5	260	2	260
39	CQS-9-8S-EF-[FL]-390-(M)-(F)-(O)	9.00	3.54	7	507	15	260	9.5	260	6	260

<sup>①</sup>Replace [FL] with Fluting Layout Code, (M) with Fixture Mounting Method Code, (F) with Finish Code and (O) with Options Code.

<sup>②</sup>EPA calculations allow for 1.3 Wind Gust Factor. Variations from standard sizes listed above, available upon inquiry at the factory. Satisfactory performance of lighting standard is dependent upon the pole(s) being properly attached to a supporting foundation of adequate design. Valmont Industries does not design or offer recommendations for foundations.

SPC009 09/05



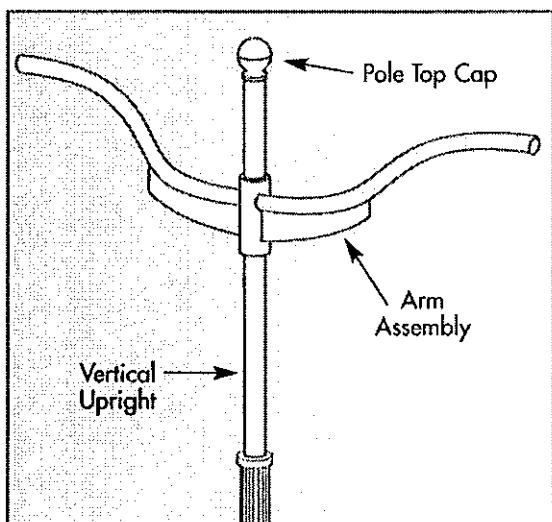
## SPECIFICATIONS

**Vertical Upright:** Vertical uprights are manufactured from 3" O.D. x .188" steel tubing, 32,000 psi strength. A 1-1/4" diameter deburred hole is provided at a location aligning with arm termination for luminaire wiring. Steel rivnuts are factory installed in the vertical upright where required for arm mounting screws.

**Luminaire Arm Assemblies:** Luminaire arms are manufactured from 2" Schedule 40 pipe (2-3/8" O.D.) with a minimum yield strength of 36,000 psi. The arm is bent and welded to a one-piece half-round steel casting. A matching casting is provided for aesthetic purposes on single arms. The arm is mounted to the vertical upright with 3 stainless steel flat head socket cap screws. Two screws are located at the top of the casting and one at the bottom of the casting using beveled holes.

**Luminaire Mounting:** Luminaire arms may be specified with the "D2" - Hub Down or "E2" - End Slip Fit options. The "D2" option is supplied with a 1-1/2" female threaded coupling welded 1" from the end of the arm pointing down. A 1-1/2" male threaded coupling is provided to adapt to female hub luminaires. A stainless steel hex drive cup point set screw is provided in the female coupling as an anti-rotation locking device. Open ends of the arms are provided with black polypropylene flat push-in caps. Arms may also be specified with "T2" - 2-3/8" O.D. or "T3" - 3" O.D. tenon for top mounted luminaires. These tenons are located 1" from the end of the arm. "H2" and "H3" mounting has tenon on end mounted 4" O.D. hub.

## PASEO PTS-PA2

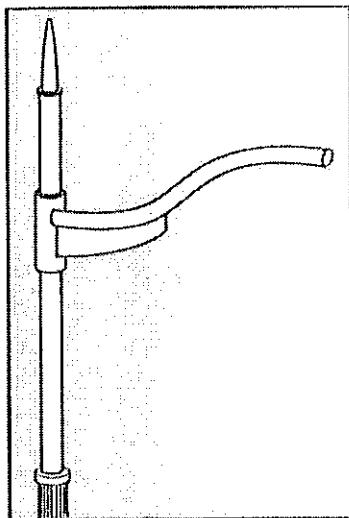


**Pole Top Assembly Mounting to Pole:** Pole top assemblies are to be mounted to City Quartz poles with the "PQ" 2-3/8" O.D. x 12" tenon. This must be ordered with the pole to accommodate a pole top assembly. The vertical upright of the pole top assembly is provided with two sets of four stainless steel hex drive cup point set screws that secure the pole top assembly to the pole. These screws also allow for leveling of the vertical upright.

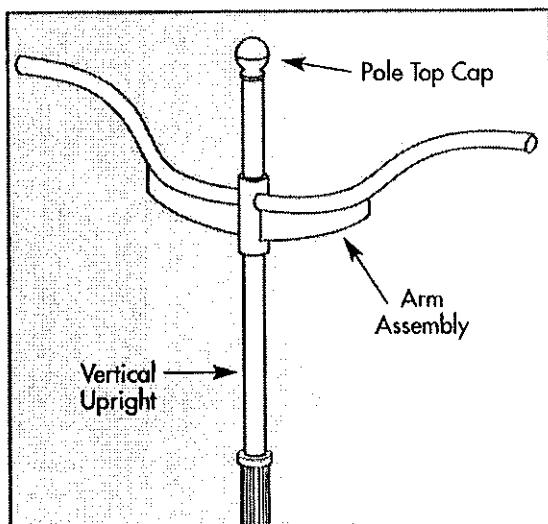
**Pole Top Caps:** Pole top cap options "B" – Ball and "D" – Half Dome are manufactured of spun aluminum components formed together to make a single assembly. The "S" – Spike Cap is a one-piece cast aluminum part. These three options are mounted to the pole top assembly with three stainless steel fasteners. The "F" – Flat Top Cap is a one-piece push-in style polypropylene part that is available in black finish only.

**Finishes:** The finish for the pole top assemblies is polyester powder applied coating in accordance with Valmont Industries' Specifications. Pole top assemblies may have different finishes on vertical upright, arm assembly and pole top cap.

## CATALOG LOGIC



**PASEO PTS-PA2**



## SPECIFICATIONS

**Vertical Upright:** Vertical uprights are manufactured from 3" O.D. x .188" steel tubing, 32,000 psi strength. A 1-1/4" diameter deburred hole is provided at a location aligning with arm termination for luminaire wiring. Steel rivnuts are factory installed in the vertical upright where required for arm mounting screws.

**Luminaire Arm Assemblies:** Luminaire arms are manufactured from 2" Schedule 40 pipe (2-3/8" O.D.) with a minimum yield strength of 36,000 psi. The arm is bent and welded to a one-piece half-round steel casting. A matching casting is provided for aesthetic purposes on single arms. The arm is mounted to the vertical upright with 3 stainless steel flat head socket cap screws. Two screws are located at the top of the casting and one at the bottom of the casting using beveled holes.

**Luminaire Mounting:** Luminaire arms may be specified with the "D2" - Hub Down or "E2" - End Slip Fit options. The "D2" option is supplied with a 1-1/2" female threaded coupling welded 1" from the end of the arm pointing down. A 1-1/2" male threaded coupling is provided to adapt to female hub luminaires. A stainless steel hex drive cup point set screw is provided in the female coupling as an anti-rotation locking device. Open ends of the arms are provided with black polypropylene flat push-in caps. Arms may also be specified with "T2" - 2-3/8" O.D. or "T3" - 3" O.D. tenon for top mounted luminaires. These tenons are located 1" from the end of the arm. "H2" and "H3" mounting has tenon on end mounted 4" O.D. hub.

**Pole Top Assembly Mounting to Pole:** Pole top assemblies are to be mounted to City Quartz poles with the "PQ" 2-3/8" O.D. x 12" tenon. This must be ordered with the pole to accommodate a pole top assembly. The vertical upright of the pole top assembly is provided with two sets of four stainless steel hex drive cup point set screws that secure the pole top assembly to the pole. These screws also allow for leveling of the vertical upright.

**Pole Top Caps:** Pole top cap options "B" - Ball and "D" - Half Dome are manufactured of spun aluminum components formed together to make a single assembly. The "S" - Spike Cap is a one-piece cast aluminum part. These three options are mounted to the pole top assembly with three stainless steel fasteners. The "F" - Flat Top Cap is a one-piece push-in style polypropylene part that is available in black finish only.

**Finishes:** The finish for the pole top assemblies is polyester powder applied coating in accordance with Valmont Industries' Specifications. Pole top assemblies may have different finishes on vertical upright, arm assembly and pole top cap.

## CATALOG LOGIC

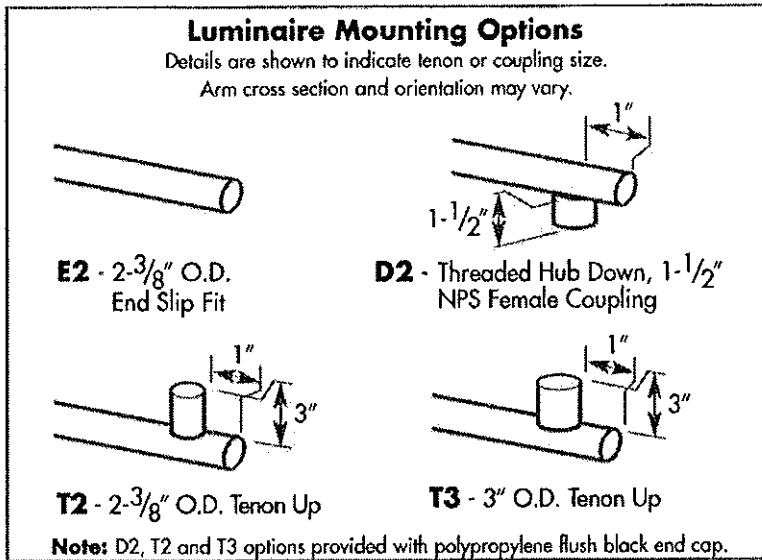
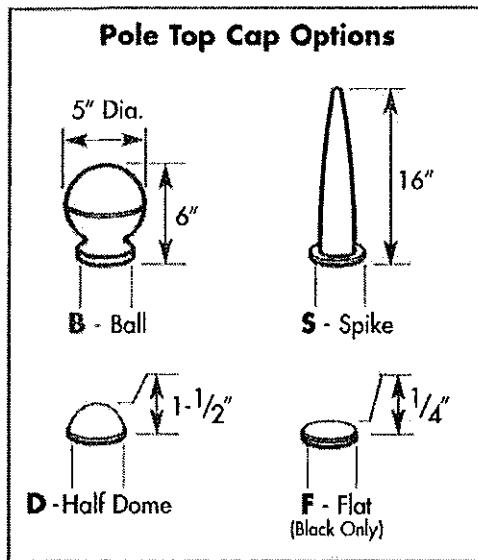
POLE TOP ASSEMBLY	MATERIAL	SERIES	NUMBER OF ARMS	LUMINAIRE MOUNTING	VERTICAL UPRIGHT FINISH	ARM ASSEMBLY FINISH	POLE TOP CAP	POLE TOP CAP FINISH	
<b>PTS</b>	<b>S</b>	<b>PA2</b>	1	E2	VSC	ASC	S	SC	
POLE TOP ASSEMBLY	MATERIAL	SERIES		LUMINAIRE MOUNTING			POLE TOP CAP		
PT = Pole Top Assembly	S = Steel	PA2 = Paseo #2		E2 = End Slip Fit 2-3/8" O.D. T2 = Tenon Up 2-3/8" O.D. x 3" T3 = Tenon Up 3" O.D. x 3" D2 = Threaded Hub Down 1-1/2" NPS Female with Male Adapter H2 = Tenon Up-Hub Mounted 2-3/8" O.D. x 3" H3 = Tenon Up-Hub Mounted 3" O.D. ST = Special Mounting (Please Specify)			B = Ball D = Half Dome	S = Spike F = Flat (BK Only)	
Amount (6)			1 = Single 2 = Double @ 180				VERTICAL UPRIGHT, ARM ASSEMBLY, POLE TOP CAP FINISH		
							WH = White BK = Black MB = Medium Bronze SG = Slate Grey ST = Sandstone	SL = Silver BR = Burgundy RD = Red CG = Copper Green ST = Sandstone	
								HG = Hunter Green AB = Azure Blue BV = Dark Blue Violet SC = Special Color (Please Specify)	



# STEEL POLE TOP ASSEMBLIES PASEO SERIES "PTS-PA2"

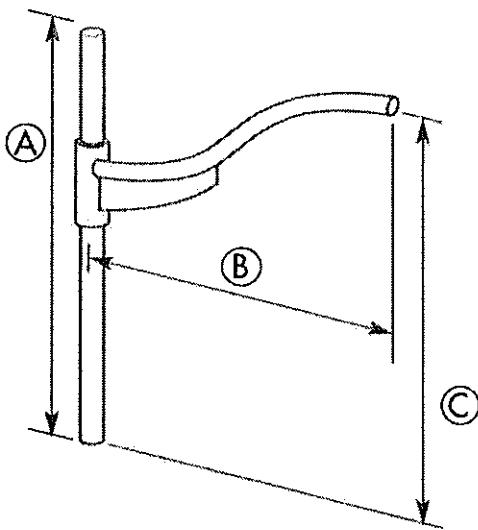
**valmont**   
STRUCTURES  
CITY QUARTZ STEEL

## POLE TOP CAP AND LUMINAIRE MOUNTING OPTIONS

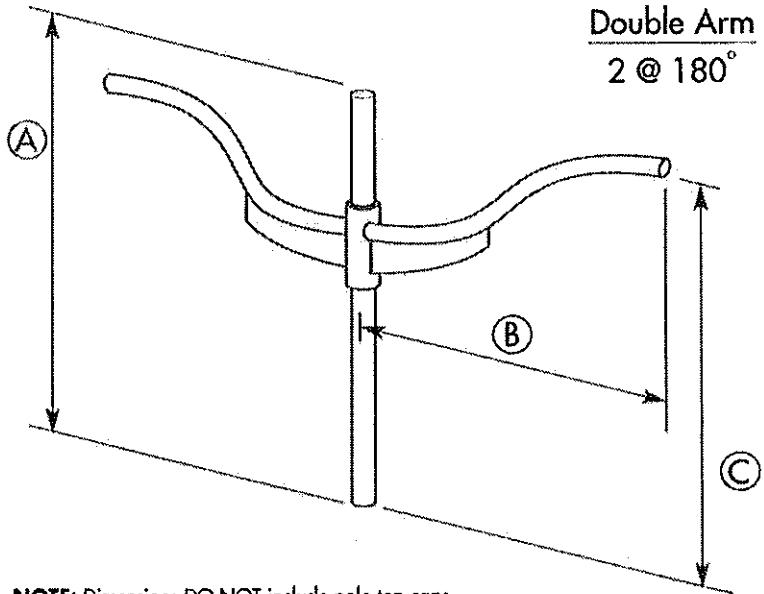


## STANDARD DIMENSIONAL AND LOAD DATA

### Single Arm



### Double Arm 2 @ 180°



**NOTE:** Dimensions DO NOT include pole top caps.

DIMENSIONS		LOAD DATA			
POLE TOP SERIES	(A) OVERALL HEIGHT	(B) HORIZ. DISTANCE TO LUMINAIRE	(C) HEIGHT TO LUMINAIRE ABOVE POLE TOP	POLE TOP ASSEMBLY EPA (SQ FT)	POLE TOP ASSEMBLY WEIGHT (LBS)
Single Arm PTS-PA2-1-(M)-(VF)-(AF)-(TC)-(TF)	4' - 6"	3' - 3"	4' - 3"	3.2	64
Double Arm (2 @ 180 Degrees) PTS-PA2-2-(M)-(VF)-(AF)-(TC)-(TF)	4' - 6"	3' - 3"	4' - 3"	4.9	84

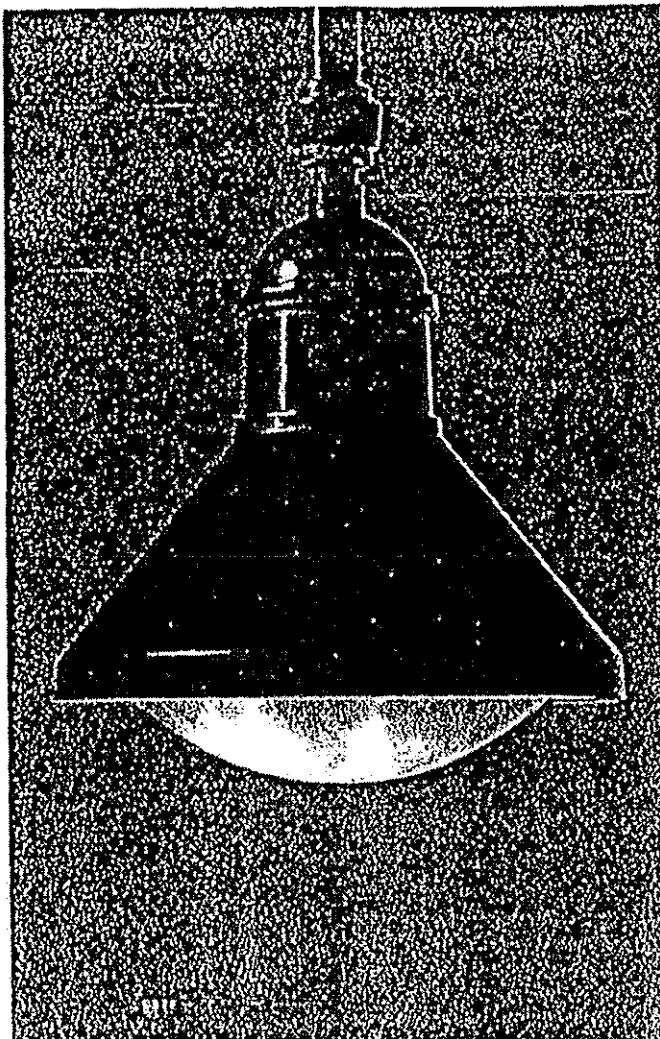
SPC7307-06/10

### "PTS" Steel Pole Top Assemblies Ordering Notes:

- 1) Replace (M) with Luminaire Mounting Selection, (VF) with Vertical Upright Finish Selection, (AF) with Arm Assembly Finish Selection, (TC) with Pole Top Cap Selection and (TF) with Pole Top Cap Finish Selection. See Catalog Logic for choices.
- 2) Pole Top Assembly weight and EPA must be added to luminaire load data to determine appropriate pole size. Pole top assemblies are designed for a maximum load of 140 lbs and 5.0 EPA per luminaire.

## 19. APPENDIX H: Site Lighting – Luminaries

### MUNICH SERIES Large Luminaires



EM25RT GCSG

**EUROTIQUE™**  
Architectural Lighting

#### ANTIQUE Street Lamps

An Specialty Brands Company  
2011-B W. Rundberg Ln. • Austin, TX 78758  
Ph (512) 977-8444 • Fax (512) 977-9622  
[www.antiquestreetlamps.com](http://www.antiquestreetlamps.com)

### SPECIFICATIONS

#### DESCRIPTION

The luminaire shall consist of a ballast housing and skirt with internal reflector and horizontal lamp. Lens shall be flat, sag, half sphere or drop globe.

#### DIMENSIONS

Dimensions shall be as detailed on the back page.

#### MATERIALS

The ballast housing and skirt shall be cast aluminum. Globe material shall be clear glass, flat or sag, or clear acrylic, half sphere or drop globe. The reflector shall be anodized and segmented for superior uniformity and control. All hardware shall be stainless steel.

#### INSTALLATION

The luminaire shall have 1.5" female, NPT at top for mounting to Eurotique™ 5" diameter arms. The globe shall be gasketed and mounted on an aluminum ring which is hinged to the skirt and furnished with a captive screw for easy relamping. The reflector shall pivot and be secured with a captive screw for easy access to the ballast plate. The ballast and socket assembly shall be furnished with a quick disconnect plug and mount on a removable ballast plate.

#### FINISH

For finish specifications and color options, see "Finish" section in catalog.

#### LIGHT SOURCE

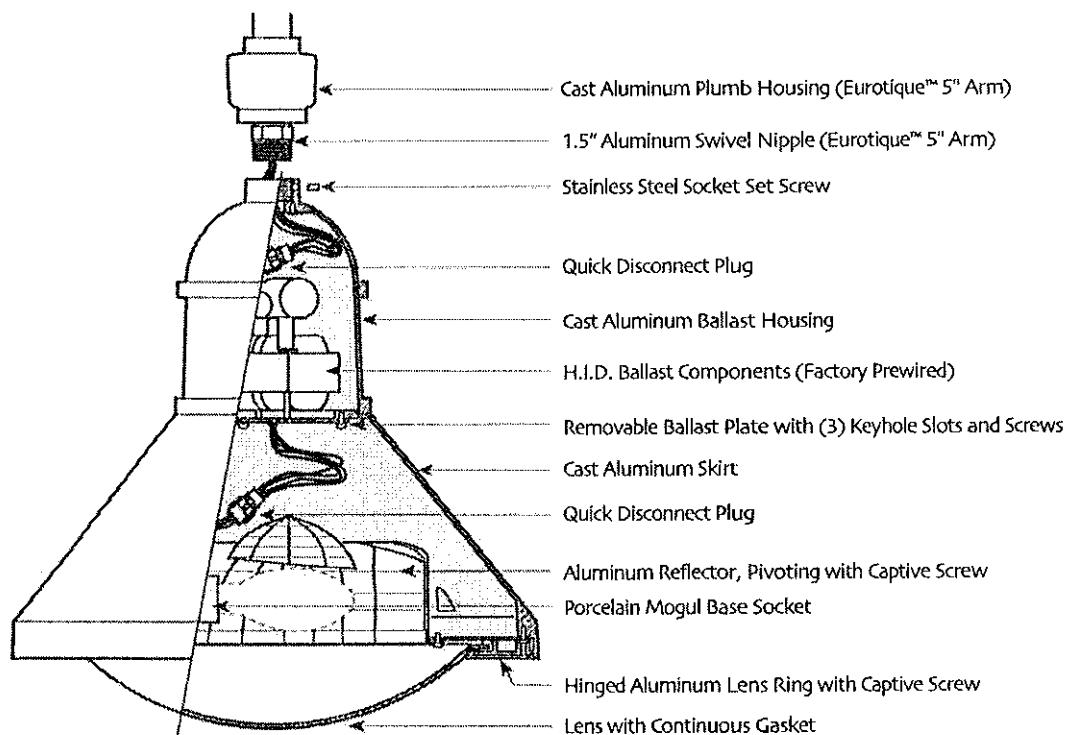
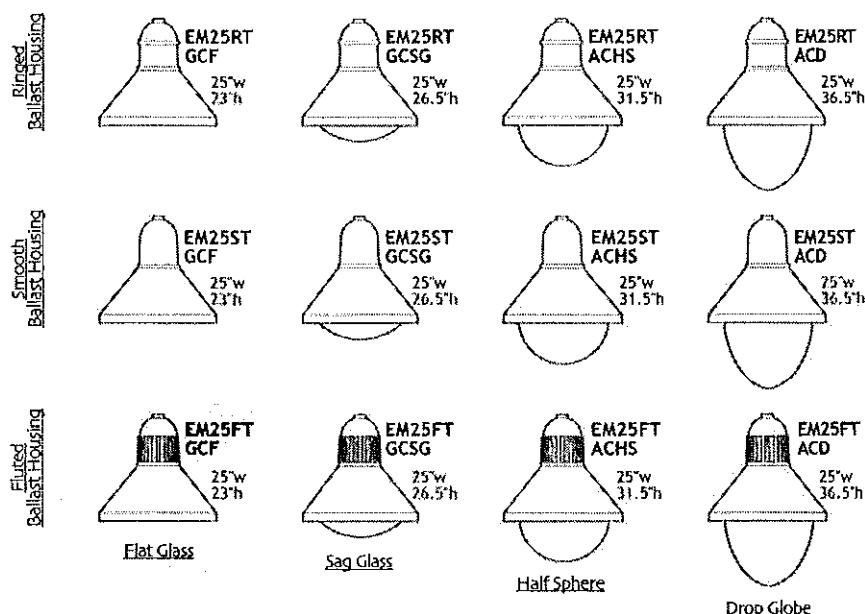
Luminaires shall be furnished with an H.I.D. ballast and socket assembly. Luminaire shall be UL listed and labeled as suitable for wet locations. Socket shall be glazed porcelain, mogul base, with a copper alloy nickel plated screw shell and center contact. Ballast shall be core and coil, high power factor, regulating type.

#### CERTIFICATION

Upon request, manufacturer shall supply UL file# and listing information.

#### PHOTOMETRY

See "Eurotique™ PHOTOMETRICS" tab in catalog.



## ORDERING INFORMATION

Choose the **boldface** catalog nomenclature that best suits your needs and write it on the appropriate line.Example: **EM25RT 175H MOG GCSG SR2 120 ANBK DF**

Series	Wattage/Lamp	Distribution <sup>1</sup>	Voltage	Finish <sup>2</sup>	Options
<b>EM25RT</b>	175H MOG 175 watt Mercury Vapor	SR2 IES Distribution	120	<b>ANBK</b> Black	HS House Side Shield
<b>EM25ST</b>	250H MOG 250 watt Mercury Vapor	<b>SR8</b> IES Distribution	208	<b>ANDB</b> Dark Bronze	SF Single Fusing
<b>EM25FT</b>	400H MOG 400 watt Mercury Vapor	<b>SR4SC</b> IES Distribution	240	<b>ANDG</b> Dark Green	DF Double Fusing
	175M MOG 175 watt Metal Halide	<b>SR4W</b> IES Distribution	277	<b>ANVG</b> Verde Green	
	250M MOG 250 watt Metal Halide	<b>SR5S</b> IES Distribution	347	<b>ANPP</b> Prime Painted	
	400M MOG 400 watt Metal Halide		480 <sup>3</sup>	<b>CM</b> Custom Match	
	150S MOG 150 watt High Pressure Sodium		TB	<b>CS</b> Custom Select RAL colors	
	250S MOG 250 watt High Pressure Sodium				
	400S MOG 400 watt High Pressure Sodium				

## Lens Material

- GCF** Glass, Clear Flat
- GCSG** Glass, Clear Sag
- ACHS** Acrylic, Clear Half Sphere
- ACD** Acrylic, Clear Drop Globe

