

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
JULY 15, 2014 AGENDA**

Subject:	Type:	Submitted By:
CONDITIONAL USE PERMIT AMENDMENT – MY PLACE HOTEL LOT 3, SOUTHPORT EAST REPLAT THREE	◆ RESOLUTION ORDINANCE RECEIVE/FILE	ANN BIRCH COMMUNITY DEVELOPMENT DIRECTOR

SYNOPSIS

A public hearing has been scheduled for Council to consider an application for a Conditional Use Permit to locate and operate a hotel on Lot 3, Southport East Replat Three, generally located northwest of Southport Parkway and Port Grace Blvd.

FISCAL IMPACT

N/A.

RECOMMENDATION

Approval of the Conditional Use Permit for My Place Hotel, conditional on resolution of the outstanding items related to the building design requirements.

BACKGROUND

A public hearing has been scheduled to consider an application submitted by R W La Vista, LLC, for a Conditional Use Permit to locate and operate a My Place Hotel on Lot 3, Southport East Replat Three. The property is zoned C-3 Highway Commercial/Office Park District with the Gateway Corridor Overlay District. The applicant proposes to build a 64-room extended stay hotel. During the design review process two issues were identified and are contingencies to approval:

1. The color of the pitched roof is not compliant with the colors allowed within the Southport Design Guidelines however the city's design review architect recommends approval of the color chosen as it is appropriate for this project; and
2. The Southport Design Guidelines require all building signage to be individual can letters. The applicant has been working to bring the proposed wall sign into compliance. Staff is recommending compliance as a condition of approval.

A detailed staff report is attached.

The Planning Commission held a public hearing on June 19, 2014 and unanimously recommended approval of the Conditional Use Permit to City Council, conditional on the satisfactory completion of the design review prior to City Council review.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE EXECUTION OF A CONDITIONAL USE PERMIT FOR R W LA VISTA, LLC, TO ALLOW FOR A HOTEL ON LOT 3, SOUTHPORT EAST REPLAT THREE.

WHEREAS, R W La Vista, LLC has applied for a conditional use permit for to allow for a hotel, specifically My Place Hotel, on Lot 3, Southport East Replat Three, located northwest of Southport Parkway and Port Grace Boulevard; and

WHEREAS, the La Vista Planning Commission has reviewed the application and recommends approval; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit for such purposes, subject to the following conditions:

1. Approval of the roof color as recommended by the city's design review architect; and
2. Compliance of all building signage with the Southport Design Guidelines.

NOW THEREFORE, BE IT RESOLVED, that the Mayor and City Council of the City of La Vista hereby authorize the execution of a Conditional Use Permit in form and content submitted at this meeting, for R W La Vista, LLC to allow for a hotel, specifically My Place Hotel, on Lot 3, Southport East Replat Three.

PASSED AND APPROVED THIS 15TH DAY OF JULY, 2014.

CITY OF LA VISTA

ATTEST:

Douglas Kindig, Mayor

Pamela A. Buethe, CMC
City Clerk



**CITY OF LA VISTA
PLANNING DIVISION**

RECOMMENDATION REPORT

CASE NUMBER: 2014-CUP-02

FOR HEARING OF: July 15, 2014
Report Prepared on July 9, 2014

I. GENERAL INFORMATION

- A. APPLICANT:** RW La Vista, LLC
- B. PROPERTY OWNER:** Starboard South, LLC
- C. LOCATION:** NW Corner of Southport Parkway and Port Grace Blvd.
- D. LEGAL DESCRIPTION:** Lot 3 Southport East Replat Three
- E. REQUESTED ACTION(S):** Conditional Use Permit to allow for a hotel.
- F. EXISTING ZONING AND LAND USE:**
C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District); the property is currently vacant.
- G. PROPOSED USES:** Developer wishes to construct a 64-room extended stay hotel.
- H. SIZE OF SITE:** Applicant wishes to utilize 1.52 acres of the current 2.696 acre parcel.

II. BACKGROUND INFORMATION

- A. EXISTING CONDITION OF SITE:** The existing site is vacant ground with a gradual downward slope to the north.
- B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**
 - 1. **Northwest:** PayPal; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
 - 2. **Northeast:** Securities America; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
 - 3. **Southeast:** Vacant; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
 - 4. **Southwest:** Gas Station/Commercial Strip Center; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)

C. RELEVANT CASE HISTORY: N/A

D. APPLICABLE REGULATIONS:

1. Section 5.12 – C-3 Highway Commercial/Office Park District
2. Section 5.17 of the Gateway Corridor District (Overlay District)
3. Article 6 – Conditional Use Permits

III. ANALYSIS

A. COMPREHENSIVE PLAN: The Future Land Use Map of the Comprehensive Plan designates this property for commercial uses.

B. OTHER PLANS: N/A

C. TRAFFIC AND ACCESS:

1. It was determined by the city engineer that no additional traffic studies are required for the proposed action.
2. Recent traffic analyses have indicated the intersection of Southport Parkway and Giles Road is expected to operate at Level of Service “D” in PM peak hours. Previous studies, such as the one presented to the City Council in October 2000 have indicated that full build-out of the Southport development will require major intersection improvements and widening of Giles Road to six lanes. This particular project is not expected to be a significant contributor to PM peak hour traffic. The applicant needs to be aware that the entrance from Southport Parkway into the private access road may be blocked by traffic queues on Southport Parkway for brief periods in PM peak hours and their customers will need to utilize the Port Grace Boulevard access.
3. The property has access from 123rd Plaza which is a private roadway that exists from Southport Parkway to Port Grace Boulevard. Three driveway connections are proposed to this private roadway which will allow access from both Southport Parkway and from Port Grace Boulevard.

E. UTILITIES: All utilities are available to the site.

F. PARKING REQUIREMENTS:

1. Zoning regulations require a total of 67 parking stalls (64 rooms and 3 employees); 3 of these stalls are required to be handicapped accessible. The CUP site plan depicts a total of 67 parking stalls and includes the required number of accessible stalls. No additional parking is anticipated to be needed.

G. LANDSCAPING:

1. The landscaping plan has been reviewed as part of the design review process that is required for developments within Southport East and

the Gateway Corridor District. Comments regarding the landscape plan are stated within the design review letter from the city's design review architect attached to this report. The landscape plan has been deemed as compliant by the city's architect.

H. BUILDING DESIGN:

1. The building design has been reviewed as part of the design review process that is required for developments within Southport East and the Gateway Corridor District. Comments are stated within the design review letter from the city's design review architect attached to this report. Two items in relation to the building design remain:
 - a. The color of the pitched roof is not compliant with the colors allowed within the Southport Design Guidelines. However, the design review architect has stated within his letter that the color chosen is appropriate for the application. Staff is recommending the approval of this color through the Conditional Use Permit.
 - b. The Southport Design Guidelines require all building signage to be individual can letters. The applicant has been working to bring the proposed wall sign into compliance. Staff is recommending compliance as a condition of approval.

IV. REVIEW COMMENTS:

1. The applicant's latest submittal has been modified in relation to the comments provided by the city engineer in his letter dated May 15, 2014. This review letter is attached for review. The city engineer agrees that the modifications have met his approval.
2. Along with the typical conditions for a hotel within the CUP document, staff has added a condition that allows for the approval of a roof color that is outside of the range of colors listed within the Southport Design Guidelines. If City Council approves of the Conditional Use Permit in its current form, the approval would allow for the proposed roof color.

V. STAFF RECOMMENDATION:

Approval of the Conditional Use Permit contingent upon compliance with the building signage requirements of the Southport design guidelines.

VI. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. City Engineer's Review Letter
3. Design Review Architect's Review Letter
4. Draft CUP with packet of exhibits

VII. COPIES OF REPORT TO:

1. Scott Rau, RW La Vista, LLC; Applicant
2. Trenton B. Magid, Starboard South, LLC; Property Owner
3. Craig Larsen, Legacy Design Group, LLC; Architect
4. Public Upon Request

Prepared by

Community Development Director

Date



Vicinity Map

Southport East Replat 3 - MyPlace Hotel

6/12/2014
CSB





May 15, 2014

Mr. Christopher Solberg
City Planner
City of La Vista
8116 Park View Blvd.
La Vista, NE 68128

RE: Conditional Use Permit Amendment & Administrative Plat
My Place Hotel
Lot 3, Southport East Replat Three
Initial City Engineer Review

Chris:

I have reviewed the copy of the proposed administrative plat that you provided from E&A Consulting Group, Inc. in your transmittal memo asking for comments by May 15. The plat is entitled Preliminary Administrative Plat, Southport East Replat Fourteen. I have reviewed the criteria of Section 3.08 of the Subdivision Regulations and have the following comments:

A. The block for the Surveyor's Certification needs to have the language revised to include the following wording "this plat meets or exceeds the "Minimum Standards for Surveys" adopted by the Nebraska State Board of Examiners for Land Surveyors" in accordance with Section 10.02 of the Subdivision Regulations as revised February 4, 2014.

B. The signature block for review by Sarpy County Public Works needs to be revised to be in accordance with Section 10.06 of the Subdivision Regulations as revised February 4, 2014.

C. The signature block for City approval needs to be revised to be in accordance with Section 10.08 of the Subdivision Regulations as revised February 4, 2014.

D. To allow for review of Item 3 under Section 3.08.03 of the Subdivision Regulations, the applicant needs to provide a statement by a qualified traffic engineer as to the peak hour, two-way traffic volume that the proposed use is expected to generate in accordance with the Institute of Transportation Engineers recommendations.

I have also reviewed the application that I received from you in the same transmittal for a proposed conditional use permit for a hotel to be developed on part of Lot 3, Southport East Replat Three. Based on the elements for consideration set forth in Article 6.05 of the Zoning Regulations, I have the following comments:

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
p: 402-331-4343
f: 402-331-4375

Community Development
8116 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Fire
8110 Park View Blvd.
p: 402-331-4748
f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

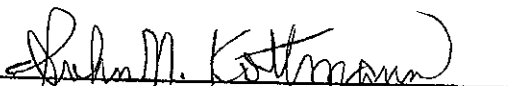
Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

Public Works
9900 Cornhusker Rd.
p: 402-331-8927
f: 402-331-1051

Recreation
8116 Park View Blvd.
p: 402-331-3455
f: 402-331-0299

1. Relative to Article 6.05.04, the applicant needs to include on Site Plan Sheet C100 or C300 preliminary indications as to how Post Construction Storm Water Management will be provided to comply with the requirements to treat the first half inch of storm water runoff and to maintain no increase in peak flows from 2-year return frequency storm events above existing conditions.
2. Relative to Article 6.05.05, the applicant needs to provide the peak hour traffic estimation set forth in Item D above in order to evaluate this criterion.
3. In regards to Article 6.05.10 the location of the proposed monument sign at the southerly corner of the site needs to be moved to improve sight distance for vehicles leaving the facility. Also related to this Article, I need to point out that recent traffic analyses have indicated the intersection of Southport Parkway and Giles Road is expected to operate at Level of Service "D" in PM peak hours. Previous studies, such as the one presented to the City Council in October 2000 have indicated that full buildout of the Southport development will require major intersection improvements and widening of Giles Road to six lanes. This particular project is not expected to be a significant contributor to PM peak hour traffic. The applicant needs to be aware that the entrance from Southport Parkway into the private access road may be blocked by traffic queues on Southport Parkway for brief periods in PM peak hours and their customers will need to utilize the Port Grace Boulevard access.
4. The proposed use will not be objectionable under the other criteria in this article as long as the design standards and building permit regulations are followed during design of the facilities.

Please feel free to contact me if you have questions.


John M. Kottmann
City Engineer

Cc file

23 May 2014

Revised 12, June 2014

Revised 25, June 2014

Revised 7, July 2014

Revised 9, July 2014

Mr. Chris Solberg
City of La Vista
8116 Parkview Boulevard
La Vista, NE 68128-2198

RE: Design Review – My Place Hotel
BCDM Project No. 3700-07

Dear Chris:

Per your request, we have completed a design review of the above referenced project using the Design Guidelines for the Southport Development (dated 1 September 2002) as applicable.

The following recommendations, comments and concerns are based on the provided drawings for La Vista My Place dated 5/2/2014. This review will note items *Not in Compliance* with the Design Guidelines.

5. SOUTHPORT'S STYLE

- II. SPECIFIC STYLE REQUIREMENTS
 - A. A recognizable base exists, however the mid-façade and cornice do not match proportion. See item II.D.
Not in Compliance.
Submittal describes existing design as compliant due to measured breakdown of facades.
The cornice as defined by the guideline is a horizontal molded projection, not a major portion of the façade. The intent of the guideline is that the primary building material is at least 60% of the façade (excluding the base and windows). The total percentage of primary building material shown in this exhibit is not 60% of the façade.
 - **Not in Compliance.**
Additional brick has been added at corner towers. Cornice comment not addressed in re-submission.
 - **Not in Compliance.**
Re-Submission as of 7/7/14 shows change in color and material at the fascia/soffit to qualify as cornice to satisfy guidelines. This has not been accepted as satisfying cornice element requirement. Suggest including banding in EIFS at "Amarillo White" EIFS areas, above windows to create acceptable cornice element.
 - **Not in Compliance pending revisions**
Re-submission has included banding as described previously to achieve cornice element.
 - **Submittal is compliant.**
 - B. "Punched" windows are used compliant with the guidelines.
Submittal is compliant.
 - C. "Pitched Roofs shall have a slope of 6/12."
Submittal cannot be read on elevation, confirm 6/12 pitch to standing seam roof.
Not in Compliance pending confirmation of roof pitch.

Submittal has been clarified to provide 6/12 roof pitch throughout.

- **Submittal is Compliant**

- C. *"(Pitched Roofs)... shall be comprised of standing seam metal roofing of the color ranges as shown in Appendix L."*

Submitted sample roofing is not of the color range shown in Appendix L.

Not in Compliance.

Item not addressed in Re-submittal.

Proposed color is acceptable from a design perspective however, a color not in the range shown in the Appendix would require Council Approval.

- **Not in Compliance pending Council Approval.**

Item not addressed in Re-Submittal.

- **Though not approved color within guidelines, color of roof selection is appropriate for application.**

- D. Refer to Item 2.b. *The mid-façade shall be constructed from (1) or more of the primary building materials... The primary building materials shall comprise a minimum of 60% of the mid-façade. The remaining 40% can be comprised of the Secondary building materials.*

- Corner towers contain none of the primary building material as well as other sections.

- More information of building horizontal dimensions needed to determine compliance.

- Recommend incorporating brick into elements that currently show no primary building material element (corner towers, main façade etc. See item II.A)

Not in Compliance.

Submittal describes existing design as compliant due to measured breakdown of facades. See item IIA.

- **Not in Compliance.**

Item addressed by corner column brick additions. Additional brick aids mid-façade requirement compliance.

- **Compliant under revision.**

6. SITE ELEMENTS

■ I. SPECIFIC SITE ELEMENT REQUIREMENTS

- A. Serpentine Sidewalk has been provided as required.

Submittal is compliant.

Plants for the green space shall be selected from the plant list as shown in Appendix G.

-Although some plants selected comply with the list in Appendix G, several are not from this list.

-In addition, the planting sizes do not match requirements as shown in Appendix G.

Not in Compliance.

Planting list has been revised to include compliant number and sizing of planting from Appendix G.

- **Submittal is Compliant**

D. Green Space (Secondary Street Frontage) 10' requirement of landscaped area shown as required.

Submittal is compliant.

Plants for the green space shall be selected from the plant list as shown in Appendix G.

-Although some plants selected comply with the list in Appendix G, several are not from this list. Minimally select plants to meet minimum requirements for each category as listed.

-In addition, the planting sizes do not match requirements as shown in Appendix G.

Not in Compliance.

Planting list has been revised to include compliant number and sizing of planting from Appendix G.

- **Submittal is Compliant**

7. BUILDING ELEMENTS

■ II. SPECIFIC BUILDING ELEMENT REQUIREMENTS (Mandatory)

- A. *All roof top mechanical units, including motel/hotel room units shall be screened from view from public right-of-ways through the use of permanent architectural screens that are integrated with the overall design of the building.*

- Motel/hotel PTAC thru-wall units are to be screened.

- Provide information and details on screening to be incorporated into thru-wall units shown.

Not in Compliance.

Information has been provided for PTAC grilles.

- **Submittal is Compliant**

- B. Ground level mechanical equipment is not shown. Provide information showing locations of any and all pedestals, building utilities etc.

Compliant pending final mechanical drawings showing any exterior equipment locations.

Mechanical plans pending submittal, however design concept describes location and screening of units.

- **Submittal is Compliant**

- C. Refuse screening shown is compliant.

Submittal is compliant.

- F. Building lighting shall use metal halide color lighting as required. Submittal does not specify color of site elements including lamps. Submittal does not specify lighting color.

Submittal is compliant pending lighting and pole color specified as required

Additional information provided specifying lighting and pole color to match guidelines.

- **Submittal is Compliant.**

■ III. SPECIFIC BUILDING ELEMENT REQUIREMENTS (Optional)

- Requirement to provide 4 of the 6 optional elements.

- A. Awnings. (Not provided) (Provided)

- **Submittal has described original submittal roof elements as awnings.**

- **Building elements described do not satisfy the intent of providing awnings.**

- **Element not provided under current submission.**

- **Element addressed and provided as design element (Provided)**

- B. Arches. (Not provided)

Mr. Chris Solberg

City of La Vista

23 May 2014 Revised 12, June 2014 Revised 24, June 2014 Revised 7, July 2014

Page 4

- C. Square Columns (Not provided)
 - Submittal has described canopy columns and tower elements as square columns.
 - Some square column elements are included, however, the rear of the building is recommended to continue the building elements.
 - Element not provided under current submission and requires additional revisions.
- D. Pitched Roof (Provided)
- E. Arbors (Not Provided) (Provided)
 - Submittal could incorporate this element to comply with requirements.
 - Re-submittal provides arbor at seating area.
- F. Site Furniture (Provided) Provide cuts of site furniture to be included in the design with color selection indicated.
 - Cut sheets of site furniture to be provided have been included.

- Provide 2 additional optional building elements as required.

Not in Compliance.

- Provide 2 additional optional building elements as required.

Not in Compliance.

-4 out of 6 items provided

Submittal is Compliant.

9. SIGNAGE

- *All building signs shall be individual can letters. Color of letters is up to the Building owner.*
- Individual can letters on building not shown. Singular sign is not compliant with this requirement. Signage reviewed by City.

Not in Compliance.

Signage has been described in more detail including trademarked signage as shown. Signage is required to be modified to comply with guidelines. (See Fantasy Car Wash ie.) Signage is reviewed by City for compliance.

Signage is required to be modified to comply with guidelines. (See Fantasy Car Wash ie.) Signage is reviewed by City for compliance.

Signage has been modified to more closely comply with guidelines. Signage is reviewed by City for compliance.

If you have questions on any of the comments listed above, please contact me directly at (402) 384-6428.

Sincerely,

Kevin Schluckebier, AIA, LEED AP
BCDM Architects

KES/bsf

c: File 3700-07, 1.0

City of La Vista Conditional Use Permit

Conditional Use Permit for Hotel

This Conditional Use Permit issued this 15th day of July, 2014, by the City of La Vista, a municipal corporation in the County of Sarpy County, Nebraska ("City") to, RW La Vista, LLC ("Owner"), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to construct and operate a hotel upon the following described tract of land within the City of La Vista zoning jurisdiction:

Lot 3, Southport East Replat Three located in the SE¼, Section 18, Township 14 North, Range 12 East of the 6th P.M. Sarpy County, Nebraska.

WHEREAS, Owner has applied for a conditional use permit for the purpose of locating and operating a hotel; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit to the owner for such purposes, subject to certain conditions and agreements as hereinafter provided.

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this conditional use permit is issued to the owner to use the area designated on Exhibit "C100" hereto for a hotel, said use hereinafter being referred to as "Permitted Use or Use".

Conditions of Permit

The conditions to which the granting of this permit is subject are:

1. The rights granted by this permit are transferable and any variation or breach of any terms hereof shall cause permit to expire and terminate without the prior written consent of the City (amendment to permit) or unless exempted herein.
2. In respect to the proposed Use:
 - a. A site plan showing the property boundaries of the tract of land and easements, proposed structures, parking, access points, and drives shall be provided to the City and attached to the permit as Exhibit "C100".
 - b. The hours of operation will be 24 hours a day seven days a week.
 - c. There will be approximately 3 employees to work full or part time.
 - d. There shall not be any outside storage of materials. All trash receptacles, benches and planters shall be placed on property and securely fastened to building or concrete.
 - e. The premises shall be developed and maintained in accordance with the site plan (Exhibit "C100") as approved by the City and incorporated herein by this reference. Any modifications must be submitted to the Chief Building Official for approval.
 - f. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. Building fixtures shall be of a design and size compatible with the building and adjacent areas. Lighting shall be restrained in design and excessive brightness avoided. Lighting shall be designed to a standard that does not impact adjoining properties.

- g. Owner shall obtain all required permits from the City of La Vista and shall comply with any additional requirements as determined by the Chief Building Official, including, but not limited to, building, fire, FAA and ADA.
 - h. Owner shall comply (and shall ensure that all employees, invitees, suppliers, structures, appurtenances and improvements, and all activities occurring or conducted, on the premises at any time comply) with any applicable federal, state and/or local regulations, as amended or in effect from time to time, including, but not limited to, applicable environmental or safety laws, rules or regulations.
 - i. Owner hereby indemnifies the City against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the owner, his agents, employees, assigns, suppliers or invitees, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violation on the premises of any environmental or safety law, rule or regulation.
3. In respect to the Gateway Corridor Overlay District and Southport East Design Guidelines:
- a. Building Exterior (Style and Building Materials)
 - i. The elevation plans (Exhibits "A200" and "A201") and material submitted indicate a combination of block veneer, brick, and E.I.F.S. with a recognizable base, mid-façade and cornice.
 - ii. All windows shall be "punched" style.
 - iii. The roof shall be standing seam metal with a 6/12 pitch with a color of "Burnish Slate".
 - iv. The project has incorporated four of the six optional building elements to the exterior design of the building as prescribed by the Southport East Design Guidelines. Site furniture and arbors are illustrated on the Site Plan and elevation plans (Exhibits "C100" and "A200"). Awnings and a pitched roof are illustrated on the elevation plans (Exhibits "A200" and "A201").
 - b. Mechanical Units
 - i. According to the building elevations (Exhibits "A200" and "A201"), there are louvers integrated with the windows at each individual room. Such louvers shall be painted to match the surrounding wall finishes.
 - ii. The ground units as shown on the landscape plan (Exhibit "L100") are to be screened from view by a mixture of Shadblow Serviceberry, Dense Yew, Knock Out Rose, and Sea Green Juniper.
 - c. Trash Enclosure
 - i. The site plan (Exhibit "C100") and elevation (Exhibit "A202") indicates screening (trash enclosure) around the refuse dumpsters. The walls of the trash enclosure are to be constructed of masonry units to match the material on the main structure. Two gates with steel frames will be utilized on the enclosure.
 - d. Landscaping and Site Treatment
 - i. The landscape plan (Exhibit "L100") has identified the required landscaping to the site and shall be incorporated accordingly.
 - ii. Any changes to the landscape plan must be approved by the City of La Vista.
 - iii. All perimeter sidewalks shall be serpentine.
 - e. Exterior Light Fixtures
 - i. All exterior light fixtures used on this project for parking lots shall be in accordance with the Southport East Design Guidelines. Parking lot lights (Exhibit "Appendix H" and "Appendix I") shall be located according to the Site Lighting Plan (Exhibit "C100").
 - ii. All additional exterior light fixtures must be submitted for approval.
 - f. Signage
 - i. All signs shall comply with the City's sign regulations. Wall signage shall be individual can letters in accordance with the Southport East Design Guidelines.

4. The applicant's right to maintain the use as approved pursuant to these provisions shall be based on the following:
 - a. An annual inspection to determine compliance with the conditions of approval. The conditional use permit may be revoked upon a finding by the City that there is a violation of the terms of approval, if the violation continues after written notice from the City to Owner and a reasonable time for Owner to cure such violation.
 - b. The use authorized by the conditional use permit must be initiated within one (1) year of approval and shall become void two (2) years after the date of approval unless the applicant has fully complied with the terms of approval.
 - c. All obsolete or unused structures, accessory facilities or materials with an environmental or safety hazard shall be abated and/or removed at owner's expense within twelve (12) months of cessation of the conditional use.
5. Notwithstanding any other provision herein to the contrary, this permit, and all rights granted hereby, shall expire and terminate as to a permitted use hereunder upon the first of the following to occur:
 - a. Owner's abandonment of the permitted use. Non-use thereof for a period of twelve (12) months shall constitute a presumption of abandonment.
 - b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Use.
 - c. Owner's breach of any other terms hereof and his failure to correct such breach within ten (30) days of City's giving notice thereof.
6. If the permitted use is not commenced within one (1) year from July 15, 2014, this Permit shall be null and void and all rights hereunder shall lapse, without prejudice to owner's right to file for an extension of time pursuant to the La Vista Zoning Ordinance.
7. In the event of the owner's failure to promptly remove any safety or environmental hazard from the premises, or the expiration or termination of this permit and the owner's failure to promptly remove any permitted materials or any remaining environmental or safety hazard, the City may, at its option (but without any obligation to the owner or any third party to exercise said option) cause the same to be removed at owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable) and the owner shall reimburse the City the costs incurred to remove the same. Owner hereby irrevocably grants the City, its agents and employees the right to enter the premises and to take whatever action as is necessary or appropriate to remove the structures or any environmental or safety hazards in accordance with the terms of this permit, and the right of the City to enter the premises as necessary or appropriate to carry out any other provision of this permit.
8. If any provision, or any portion thereof, contained in this agreement is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

Miscellaneous

The conditions and terms of this permit shall be binding upon owner, his successors and assigns.

1. Delay of City to terminate this permit on account of breach of owner of any of the terms hereof shall not constitute a waiver of City's right to terminate, unless it shall have expressly waived said breach and a waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.

2. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this permit.
3. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed to the owner as follows:

Contact Name and Address: Scott Rau
RW La Vista, LLC
1910 8th Ave NE
Aberdeen SD, 57401

Effective Date:

This permit shall take effect upon the filing hereof with the City Clerk a signed original hereof.

THE CITY OF LA VISTA

By _____
Douglas Kindig, Mayor

Attest:

Pam A. Buethe
City Clerk

CONSENT AND AGREEMENT

The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by owner to be performed or discharged.

Owner:

By: _____

Title: _____

Date: _____

SHEET INDEX:	
• C100	SITE & UTILITY PLAN
• C300	GRADING PLAN
• L100	LANDSCAPE PLAN
• A104	ROOF PLAN
• A200	BUILDING ELEVATIONS
• A201	BUILDING ELEVATIONS
• A202	DUMPSTER ENCLOSURE
•	EXTERIOR RENDERING



PROPOSED	EXISTING	
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	PARKING SETBACK REQ'T
---	---	BUILDING SETBACK REQ'T
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	STORMDRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	COMMUNICATIONS LINE
---	---	GAS LINE
---	---	CONDUIT
---	---	PROPERTY LINE
□	□	STORMDRAIN INLET
□	□	STORMDRAIN COMBINATION BOX
□	□	STORMDRAIN MANHOLE
□	□	DOWNSPOUT (ROOF DRAIN W/CONNECTION)
□	□	ROOFDRAIN (OUTLET TO LANDSCAPING)
□	□	CLEANOUT
□	□	SANITARY SEWER MANHOLE
□	□	ELECTRICAL/TRANSFORMER BOX
□	□	FIRE HYDRANT
□	□	WATER METER
□	□	WATER VALVE
□	□	FIRE DEPT. CONNECTION
□	□	SITE LIGHT
□	□	INTERIOR PARKING LANDSCAPING
□	□	LANDSCAPING SWAP/MAKEUP AREA

DOUBLE SITE LIGHTS: PER SOUTHPORT DESIGN GUIDELINE (CUS30/16SOB-CAS/BK: CUSARM82/2-CAS/BK: 2EULM/BK-HID/VOLTAGE) OVERALL POLE HEIGHT: 35' COLOR: GREEN BASE, ALUMINUM POLE, GREEN ARM, ALUMINUM FIXTURE HEAD LAMP: METAL HALIDE TYP. OF 3 DOUBLE HEAD SITE LIGHTS

CONTROLLED OUTLET, FLOWS RESTRICTED TO PRE-DEV'T 2 YEAR STORM

MY PLACE HOTEL
3-STORY
64 GUEST UNITS

OUTDOOR SEATING AREA
W/SHADE ARBOR & MCCONNELL
SERIES FURNITURE:
BENCHES: 4' MC24, 6' MC26
ASH URN: MCA5
TRASH RECEPTACLE: MC3-22
POWDER COAT FINISH: TURTLE
GREEN (RAL6009)

SIDEWALK, THICKENED
EDGE WHERE ADJACENT
TO PARKING (TYP.)

LOT 3A: 66,298 sf
(1.52 ac.)

CONCRETE
PAD

BLOCK REFUSE
ENCLOSURE

STORMWATER DETENTION
& INFILTRATION BED IN
LANDSCAPE ISLANDS

ASPHALT PARKING
AREA (TYP.)

CURB WALL
(TYP.)

LANDSCAPE MAKEUP
AREA (2,879 SF)

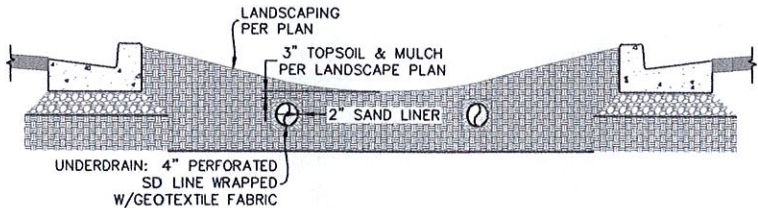
PROPOSED LOT LINE
PER PROPOSED PLAT

SINGLE SITE LIGHTS: PER SOUTHPORT DESIGN GUIDELINE (CUS14/16SOB-CAS/BK: CUSARM72/2-CAS/BK: 2EUSM/BK-HID/VOLTAGE) OVERALL POLE HEIGHT: 19' COLOR: GREEN BASE, ALUMINUM POLE, GREEN ARM, ALUMINUM FIXTURE HEAD LAMP: METAL HALIDE TYP. OF 6 SINGLE HEAD SITE LIGHTS

LOT 3B: 51,145 sf
(1.17 ac.)

25' BUILDING SETBACK,
(NO PARKING BETWEEN
BUILDING & FRONTAGE)

50' BUILDING SETBACK
(PARKING BETWEEN
BUILDING & FRONTAGE)



PARKING/LANDSCAPING CALCULATIONS:
• 1 STALL PER HOTEL ROOM
• 64 ROOMS & 3 EMPLOYEES = 67 STALLS
• STALLS PROVIDED = 71 (INCLUDES 3 ADA STALLS)
• PARKING LANDSCAPING REQUIRED (10 SF/STALL) = 662 SF
• PARKING LANDSCAPING PROVIDED = 1,128 SF

SITE INFORMATION:
• ZONING DISTRICT: C3, HIGHWAY COMMERCIAL
• LOT SIZE: 66,298 SF (1.52 AC.)
• OPEN SPACE: 18,570 SF (28%)
• PERVIOUS AREA (LANDSCAPING): 17,168 SF (26%)
• LANDSCAPE AREA ENCLOSED BY PARKING REQUIRING MAKEUP: 679 SF
• LANDSCAPE PARKING MAKEUP AREA PROVIDED: 2,874 SF (REAR OF BLDG)

OWNER/DEVELOPER:
THE RIVETT GROUP, LLC
SCOTT RAU
1910 8TH AVE. NE
ABERDEEN, SD 57401
605.725.5265

ARCHITECT:
THE RICHARDSON DESIGN PARTNERSHIP
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801.355.6868

CIVIL ENGINEER:
LEGACY DESIGN GROUP
CRAIG LARSEN, PE
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ABERDEEN, SD 57401
605.725.5257

SURVEYOR:
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LANDSCAPE ARCHITECT:
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GEOTECHNICAL ENGINEER:
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Ldg
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THE RIVETT GROUP

LA VISTA
MY PLACE

LOT 3 OF
SOUTHPORT EAST
REPLAT 3 (TO BE
REPLANTED)

811
Know what's below W.
Call before you dig.

Rev.	Date	Comment

DRAWN BY: CBL
DESIGN BY: CBL
ISSUE DATE:



6/17/2014 5:28:09 PM

SITE & UTILITY
PLAN
C100



LEGEND

PROPOSED	EXISTING	
4650	4650	MAJOR CONTOUR
4649	4649	MINOR CONTOUR
		BUILDING/STRUCTURE
		CURB, GUTTER
		PROPERTY LINE
□	□	STORMDRAIN INLET
⊠	⊠	STORMDRAIN COMBINATION BOX
⊙	⊙	STORMDRAIN MANHOLE
⌵	⌵	DOWNSPOUT CONNECTION
⌵	⌵	ROOF DRAIN
⌵	⌵	CLEANOUT

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LA VISTA
 MY PLACE

LOT 3 OF
 SOUTHPORT EAST
 REPLAT 3 (TO BE
 REPLATTED)



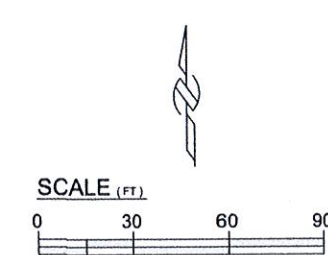
Rev.	Date	Comment

DRAWN BY: _____
 DESIGN BY: CBL
 ISSUE DATE: _____

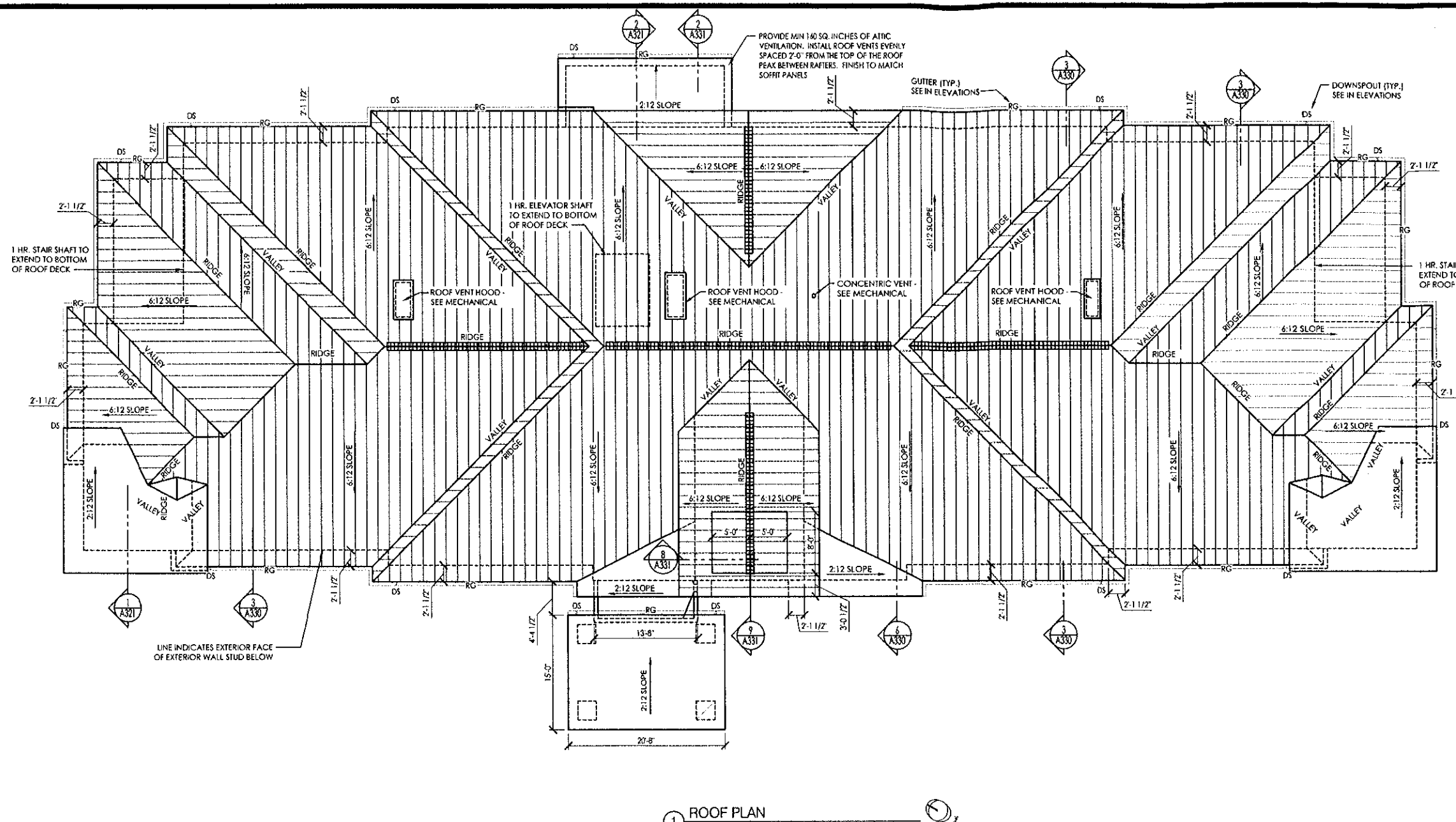


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GRADING
 PLAN
 C300



LANDSCAPE
PLAN
L100



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN GENERAL NOTES:

ATTIC VENTILATION REQUIRED:
1/300 RULE ATTIC VENTILATION
PITCHED ROOF FOOTPRINT: 3RD FLOOR FOOTPRINT = 9,569 S.F.
9,569 DIVIDED BY 300 S.F. = 31.89 S.F.
31.89 MULTIPLIED BY 144 SQ. IN. = 4,593 SQ. IN.
PITCHED ROOF AREA TOTAL SQ. IN. VENTILATION REQUIRED - 4,593 SQ. IN.

ROOF VENTILATION PROVIDED AT ROOF HIGH POINT -
127 LIN. FEET OF RIDGE VENT (REF. SPECIFICATIONS) WITH 15.8 SQ. IN. N.F.V.A. PER
FOOT KCB0# 4838 = 2,286 SQ. IN.

ATTIC VENTILATION PROVIDED:
OVERALL TOTAL VENTILATION REQUIRED - 4,593 SQ. IN. MINUS VENTILATION
PROVIDED @ RIDGE - 2,286 SQ. IN. = 2,307 SQ. IN. TO BE PROVIDED @ SOFFIT.
CONTRACTOR TO VERIFY

GENERAL NOTES:

- SEE ELEVATIONS FOR ADDITIONAL GUTTER AND DOWNSPOUT INFORMATION.
- ALL VALLEY CONDITIONS TO RECEIVE METAL FLASHING.
- TYPICAL ROOF FINISH TO BE STANDING SEAM METAL ROOF UNLESS NOTED OTHERWISE (U.N.O.)
- ALL VENTS THROUGH THE ROOF ARE TO BE OFFSET IN ATTIC AND ONLY PENETRATE ROOF ON ELECTRICAL ROOM SIDE OF RIDGE U.N.O.
- VERIFY ALL MECHANICAL EQUIPMENT LOCATIONS WITH MECHANICAL DRAWINGS
- DRAFT STOPS LOCATED WITH ASSUMED SPRINKLERED ATTIC. VERIFY WITH LOCAL CODE OR INSURANCE REQUIREMENTS.
- DO NOT SHEATH ENTIRE AREA OF TRUSSES BETWEEN MAIN ROOF & DORMERS. DORMERS MUST BE VENTILATED.
- FRAMER TO BUILD CAT WALKS IN ATTIC. PROVIDE 3/4" OSB FLOOR SYSTEM 4'-0" WIDE OVER 2X10 FRAMING FROM ATTIC ACCESS TO MECHANICAL EXHAUST FANS AS INDICATED ON MECHANICAL DRAWINGS. MAINTAIN MIN. 6'-0" HIGH CLEAR @ MAIN WALKWAY.
- PROVIDE LIGHTING EVERY 50' WITH OUTLET PLUG ON THE PORCELAIN FIXTURE. SWITCH SHOULD BE INSTALLED AT ATTIC ACCESS AREA. SEE ELECTRICAL.
- FRAMING FOR ATTIC ACCESS DOORS TO BE 3/4" PLYWOOD BOX BETWEEN TRUSSES 2' HIGH AND 3' LONG
- PROVIDE NFPA 13R FIRE SPRINKLER SYSTEM IN COMBUSTIBLE CONCEALED ATTIC SPACES.

GENERAL NOTES:

- REF. STRUCTURAL DRAWINGS FOR SHEARWALL LOCATIONS
- REFER TO MECHANICAL & PLUMBING DRAWINGS FOR LOCATIONS & SIZES OF ROOF PENETRATIONS.

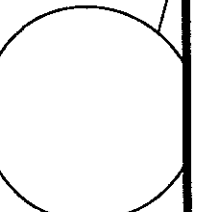
LEGEND

---	BUILDING LINE
	RIDGE VENT
---	ROOF LINE
-DS	DOWNSPOUT
---RG---	GUTTER
	STANDING SEAM METAL ROOF
---	SINGLE PLY ROOFING MEMBRANE



THE
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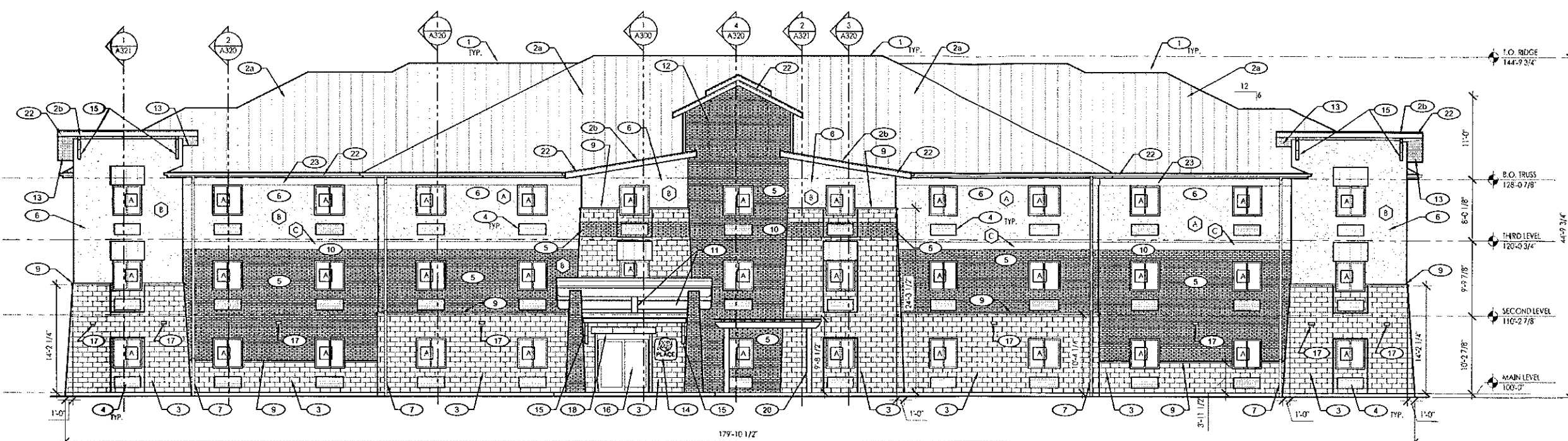
MY PLACE EXTENDED STAY
LA VISTA, NE

DATE:	DESCRIPTION:

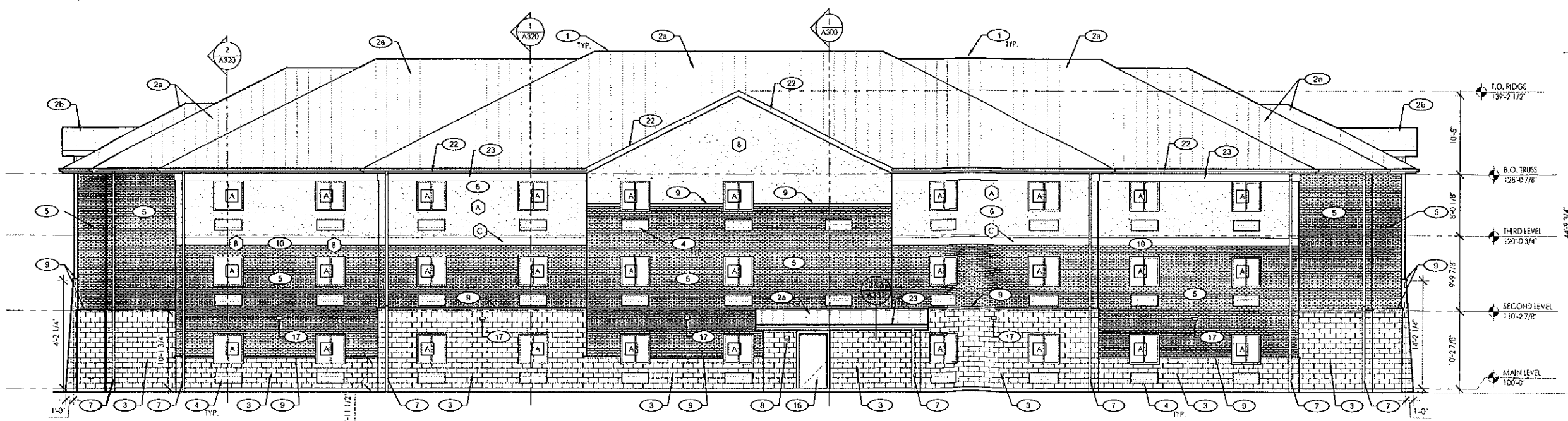
PROJECT #
14-18401

ROOF PLAN

A104



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

COLOR LEGEND	
A	MANUF. DRYVIT COLOR: AMARILLO WHITE
B	MANUF. DRYVIT COLOR: SHERWIN WILLIAMS PENNYWISE SW634F
C	MANUF. DRYVIT COLOR: BUCKSKIN

MATERIAL LEGEND	
PROVIDE THE FOLLOWING BASIS OF DESIGN FINISHES OR APPROVED EQUAL PRODUCTS	
[Symbol]	STANDING SEAM METAL ROOF MANUF. CENTRAL STATES METAL ROOFING COLOR: BURNISHED SLATE
[Symbol]	SINGLE-PLY MEMBRANE ROOF COLOR: OWNER TO SELECT
[Symbol]	ADHERED CONCRETE BLOCK SPILT FACE VENEER MANUF. COLOR: BUCKSKIN
[Symbol]	ADHERED BRICK VENEER MANUF. HEBRON BRICK CO. COLOR: BIGHORN
[Symbol]	EIFS. COLOR: SEE COLOR LEGEND SEE KEYNOTES FOR THICKNESS
[Symbol]	SOFFIT PANEL EXPOSURE: 16" COLOR: MATCH DRYVIT BUCKSKIN

KEYNOTES: #

1. RIDGE VENT.
- 2a. STANDING SEAM METAL ROOF.
SEE MATERIAL LEGEND.
- 2b. SINGLE-PLY ROOF MEMBRANE.
SEE MATERIAL LEGEND.
3. 4" CONCRETE BLOCK VENEER.
SEE MATERIAL LEGEND.
4. HEATING/COOLING UNIT. VERIFY ROUGH
OPENING W/ MANUFACTURER.
5. 4" BRICK. SEE MATERIAL LEGEND.
6. 1" EIFS. SEE MATERIAL LEGEND.
7. GUTTER AND DOWNSPOUTS. SIZE AND
LOCATION TO BE DETERMINED BY
RUN-OFF CALCULATIONS AND SHOP
DRAWINGS. VERIFY DOWNSPOUT
DISCHARGE W/ G.C. TO PREVENT WATER
FLOWING ACROSS LANDSCAPING OR
OVER SIDEWALKS. WHEN REQUIRED,
ROUTE DOWNSPOUTS TO STORM SEWER.
SEE SITE PLAN.
8. EXTERIOR LIGHTING - SEE DETAIL 10/A331
9. PRECAST COLORED CONCRETE CAP.
PROVIDE METAL FLASHING TO RUN
BEHIND BRICK AND OVER CONCRETE
CAP. PAINT TO MATCH.
10. EIFS. BAND. SEE MATERIAL LEGEND
11. ROUGH-SAWN TIMBER BEAMS.
CLEAR COAT FINISH
12. 8' x 8' MY PLACE BUILDING SIGN
13. SOFFIT PANEL - INSTALL VENT PANELS AS
INDICATED ON ROOF PLAN. SEE
MATERIAL LEGEND.
14. 3'-0" MY PLACE BUILDING SIGNAGE.
15. WOOD DECORATIVE BRACKET - SEE
DETAIL 1/A331. FINISH TO MATCH TIMBER
BEAMS.
16. DOOR. AS SCHEDULED.
17. BUILDING MOUNTED FLOOD LIGHTING -
MOUNT AT 9'-0" AFF.
18. STONE DECORATIVE UNTEL (10" x 10")
19. MIN. 4" HIGH ADDRESS NUMBERS IN
CONTRASTING COLOR TO
BACKGROUND.
20. 7 x 14' ROUGH-SAWN TIMBER ARBOR AT
EXTERIOR SEATING AREA
21. 10' x 10' MY PLACE BUILDING SIGN
22. FASCIA, TRIM, AND GUTTERS TO MATCH
BURNISHED SLATE.
23. 2 x 12' EPS TRIM, PENNYWISE.

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ARCHITECT
JEFFREY N. BYERS
6/30/2014

MY PLACE EXTENDED STAY
2228 SOUTH PORT PARKWAY
LA MESA, CA 92040

PROJECT:
DATE: 6.30.2014
DESCRIPTION: PERMIT SET

EXTERIOR
ELEVATIONS

PROJECT #
14-184-01

SHEET #
A200

COLOR LEGEND

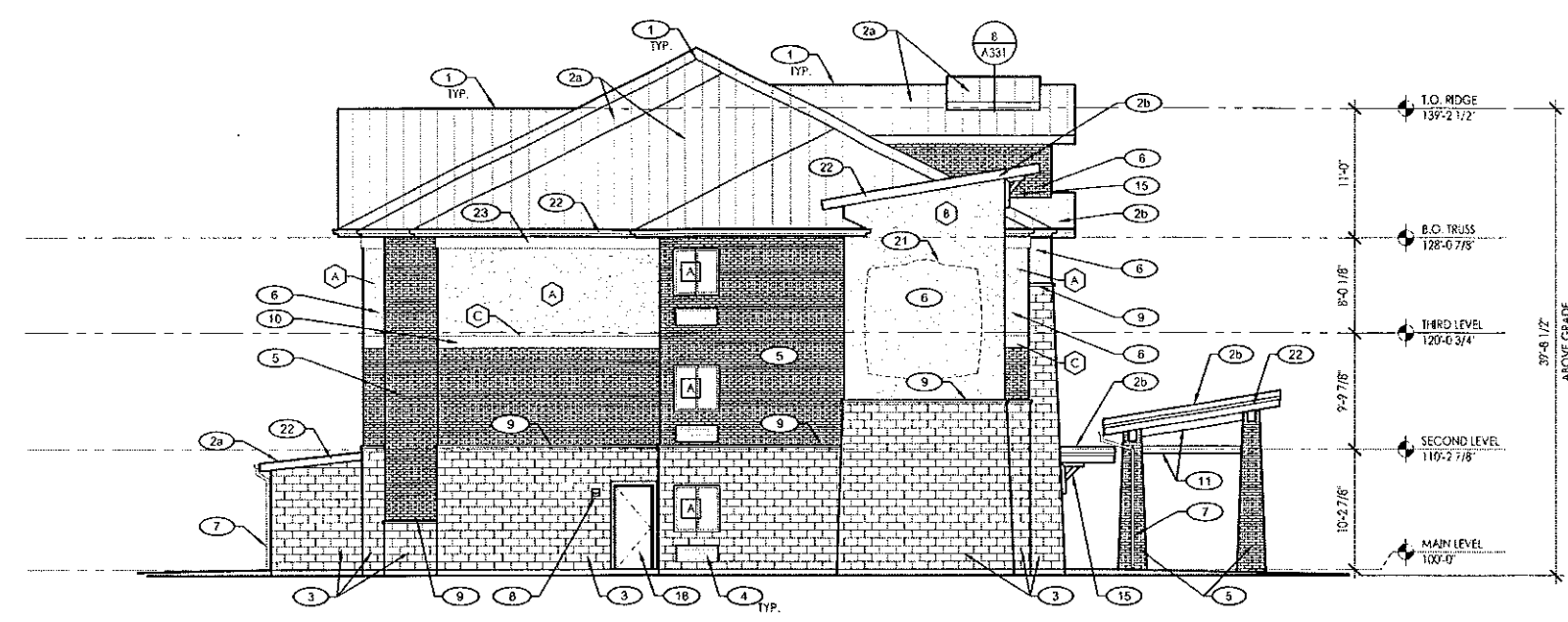
- A MANUF: DRYVIT
COLOR: AMARILLO WHITE
- B MANUF: DRYVIT
COLOR: SHERWIN WILLIAMS
"PENNYWISE" SW6345
- C MANUF: DRYVIT
COLOR: BUCKSKIN

MATERIAL LEGEND

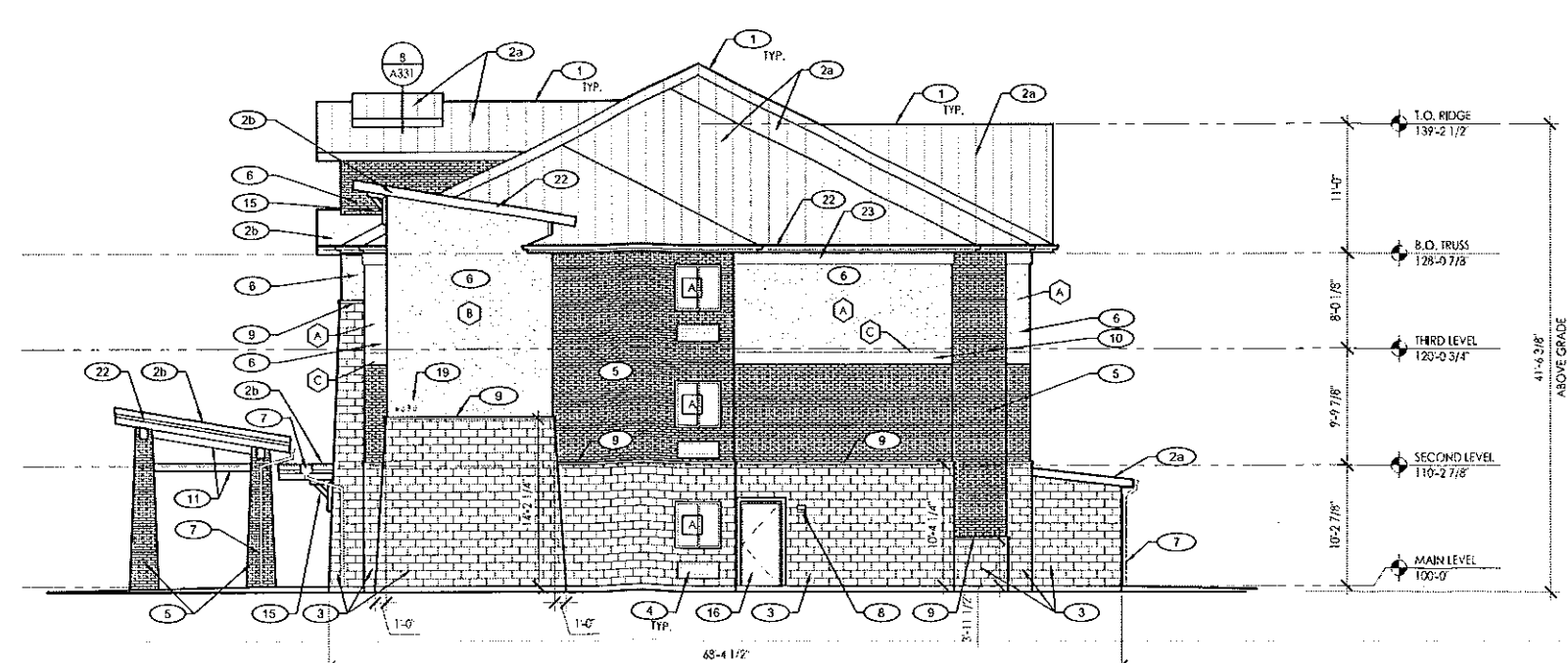
- PROVIDE THE FOLLOWING BASIS OF DESIGN FINISHES OR APPROVED EQUAL PRODUCTS
- STANDING SEAM METAL ROOF
MANUF: CENTRAL STATES METAL ROOFING
COLOR: BURNISHED SLATE
 - SINGLE-PLY MEMBRANE ROOF
COLOR: OWNER TO SELECT
 - ADHERED CONCRETE BLOCK SPIT FACE VENEER
MANUF: BUCKSKIN
COLOR: BUCKSKIN
 - ADHERED BRICK VENEER
MANUF: HEBRON BRICK CO.
COLOR: BIGHORN
 - E.I.F.S.
COLOR: SEE COLOR LEGEND
SEE KEYNOTES FOR THICKNESS
 - SOFFIT PANEL
EXPOSURE: 1/8"
COLOR: MATCH DRYMITE BUCKSKIN

KEYNOTES:

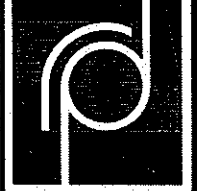
- RIDGE VENT.
- STANDING SEAM METAL ROOF.
SEE MATERIAL LEGEND.
- SINGLE-PLY ROOF MEMBRANE.
SEE MATERIAL LEGEND.
- 4" CONCRETE BLOCK VENEER.
SEE MATERIAL LEGEND.
- HEATING/COOLING UNIT. VERIFY ROUGH
OPENING W/ MANUFACTURER.
- 4" BRICK. SEE MATERIAL LEGEND.
- 1" E.I.F.S.. SEE MATERIAL LEGEND.
- GUTTER AND DOWNSPOUTS. SIZE, AND
LOCATION TO BE DETERMINED BY
RUN-OFF CALCULATIONS AND SHOP
DRAWINGS. VERIFY DOWNSPOUT
DISCHARGE W.G.C. TO PREVENT WATER
FLOWING ACROSS LANDSCAPING OR
OVER SIDEWALKS. WHEN REQUIRED,
ROUTE DOWNSPOUTS TO STORM SEWER.
SEE SITE PLAN.
- EXTERIOR LIGHTING - SEE DETAIL 10/A331
- PRECAST COLORED CONCRETE CAP.
PROVIDE METAL FLASHING TO RUN
BEHIND BRICK AND OVER CONCRETE
CAP. PAINT TO MATCH.
- E.I.F.S. BAND. SEE MATERIAL LEGEND
- ROUGH-SAWN TIMBER BEAMS.
CLEAR COAT FINISH
- 8' x 8' MY PLACE BUILDING SIGN
- SOFFIT PANEL - INSTALL VENT PANELS AS
INDICATED ON ROOF PLAN. SEE
MATERIAL LEGEND.
- 3'-0" MY PLACE BUILDING SIGNAGE.
- WOOD DECORATIVE BRACKET - SEE
DETAIL 1/A331. FINISH TO MATCH TIMBER
BEAMS.
- DOOR. AS SCHEDULED.
- BUILDING MOUNTED FLOOD LIGHTING -
MOUNT AT 9'-0" AFF.
- STONE DECORATIVE LINTEL (10' x 10'4")
- MIN. 4" HIGH ADDRESS NUMBERS IN
CONTRASTING COLOR TO
BACKGROUND.
- 7' x 14' ROUGH-SAWN TIMBER ARBOR AT
EXTERIOR SEATING AREA
- 10' x 10' MY PLACE BUILDING SIGN
- FASCIA, TRIM, AND GUTTERS TO MATCH
BURNISHED SLATE.
- 2' x 12" BPS TRIM, PENNYWISE.



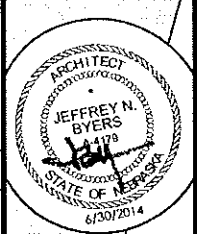
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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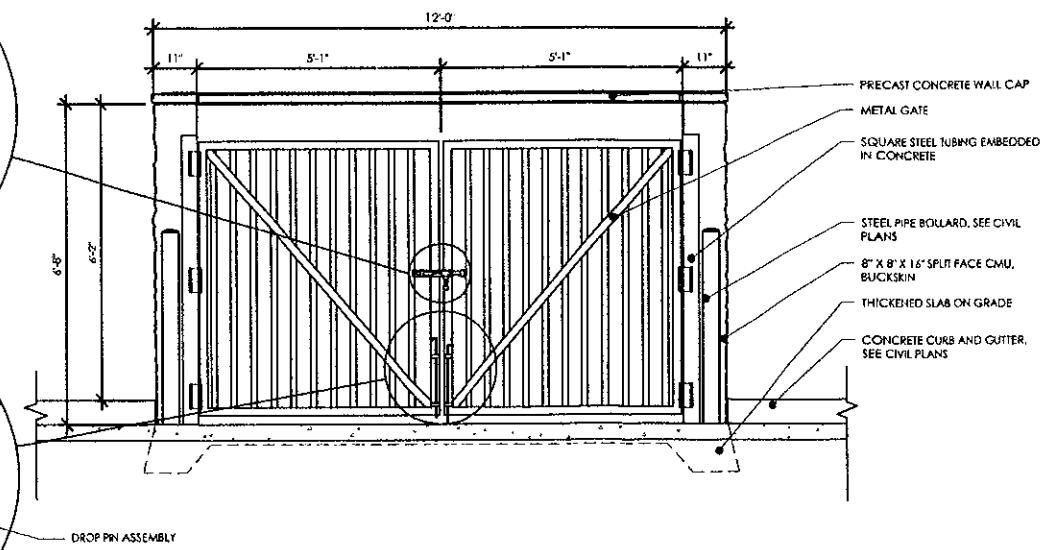
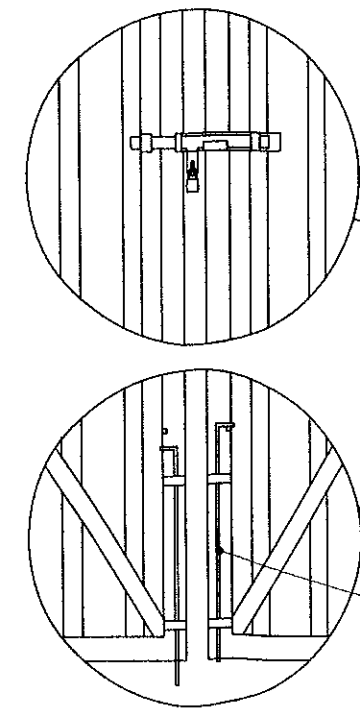
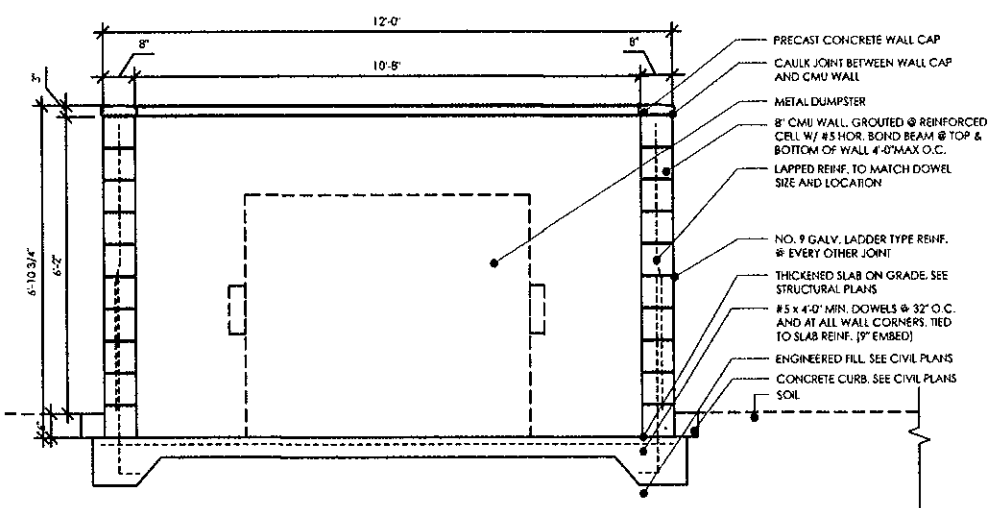
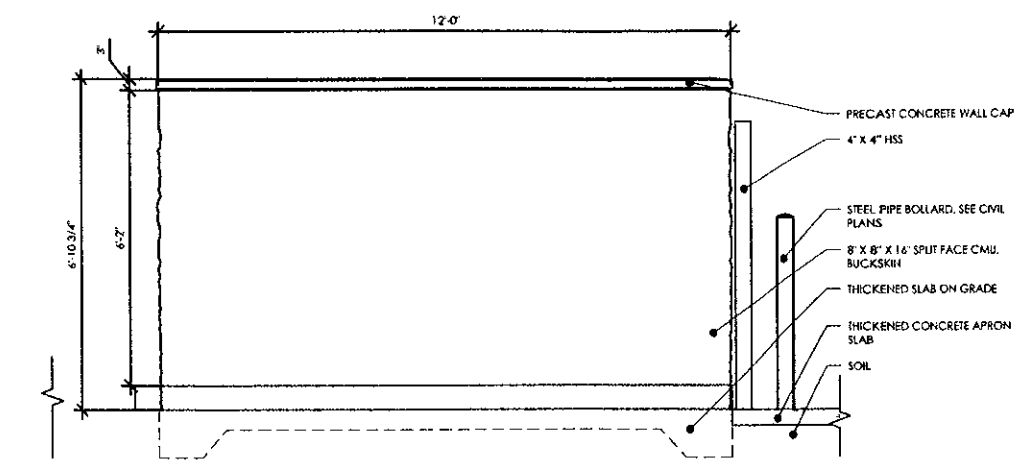
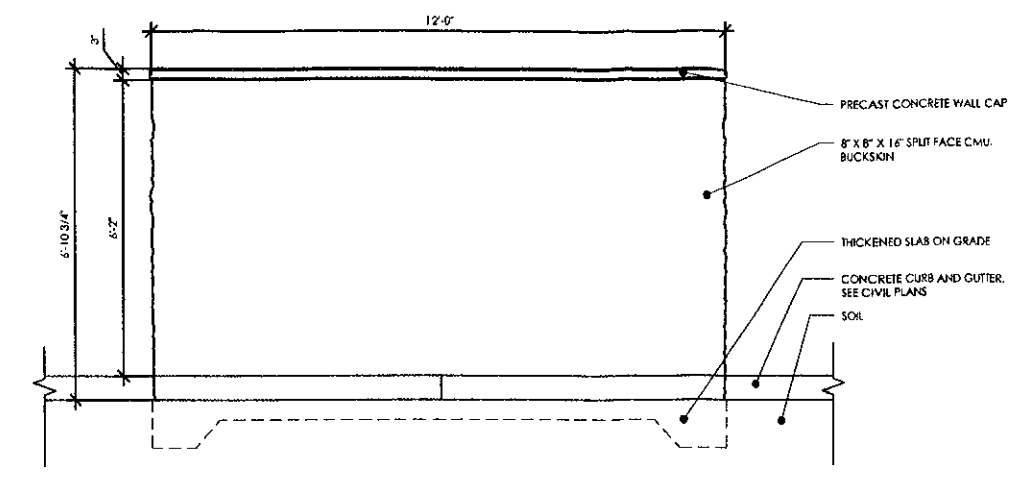
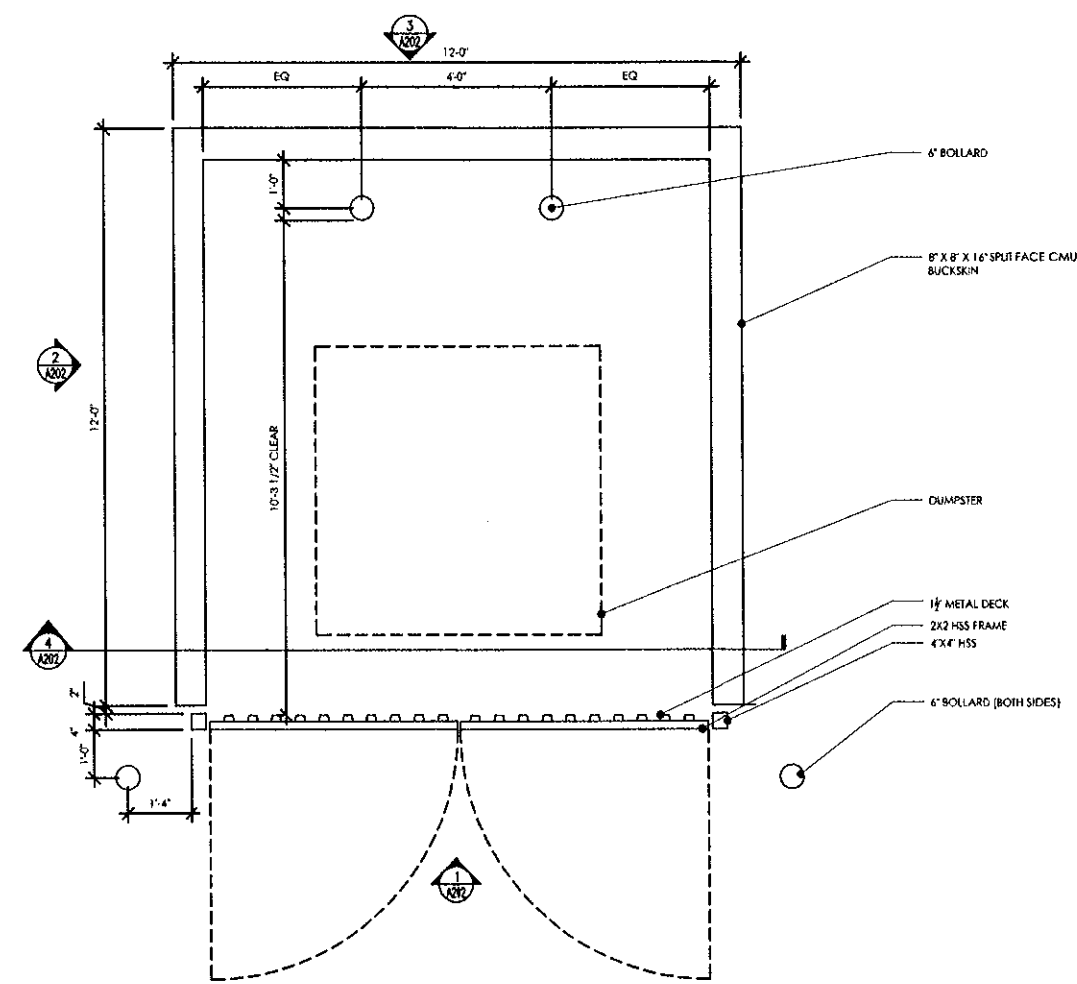
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MY PLACE EXTENDED STAY
12226 SOUTH PORT PARKWAY
LA VISTA, NE 68128

DATE:	DESCRIPTION
6.30.2014	PERMIT SET

EXTERIOR
ELEVATIONS
A201
PROJECT #
14-184.01
SHEET #

GENERAL NOTES:
FOR DUMPSTER LOCATIONS SEE
CIVIL SHEETS



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MY PLACE EXTENDED STAY
PROJECT:
LA VISTA, NE

DATE:	DESCRIPTION:

DUMPSTER ENCLOSURE
PROJECT #
14-184.01
A202



MyPlace Hotel

La Vista, Nebraska

STANDING SEAM METAL
AWNING "BURNISH SLATE"

BRICK VENEER "BIGHORN"

STANDING SEAM METAL ROOF "BURNISH SLATE"

EIFS "AMARILLO WHITE"

EIFS TRIM "BUCKSKIN"

STANDING SEAM METAL
AWNING "BURNISH SLATE"

EIFS "PENNYWISE"

BRICK VENEER "BIGHORN"

BLOCK VENEER "BUCKSKIN"

SITE FURNITURE

WOOD ARBOR

FRONT ELEVATION

BRICK VENEER
"BIGHORN"

BRICK VENEER
"BIGHORN"

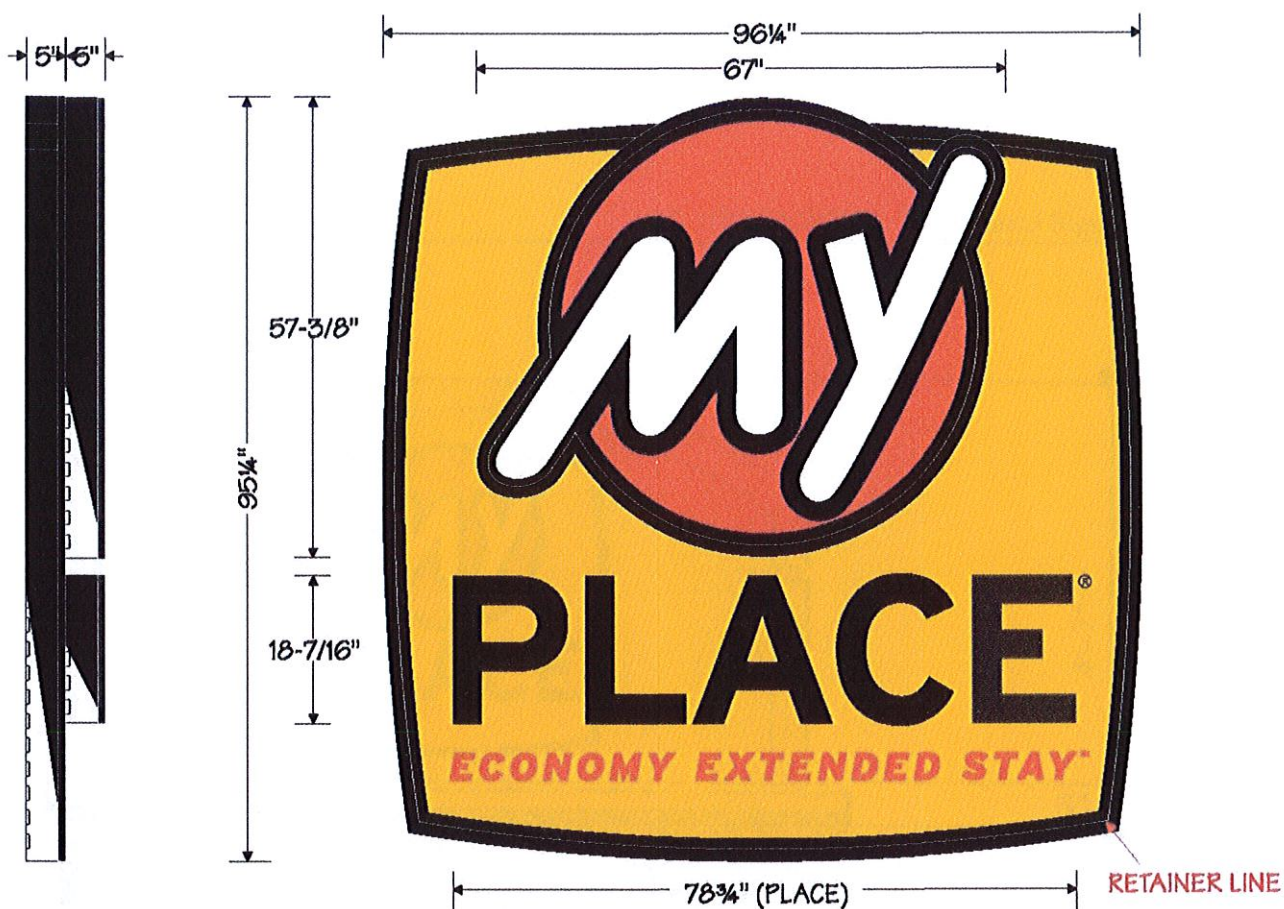
SIDE ELEVATIONS

BRICK VENEER
"BIGHORN"

BRICK VENEER
"BIGHORN"

REAR ELEVATION





SPECIFICATIONS: QTY. 2

***95 1/4" x 96 1/4" EXTERIOR INDIVIDUALLY MOUNTED CHANNEL CAN**

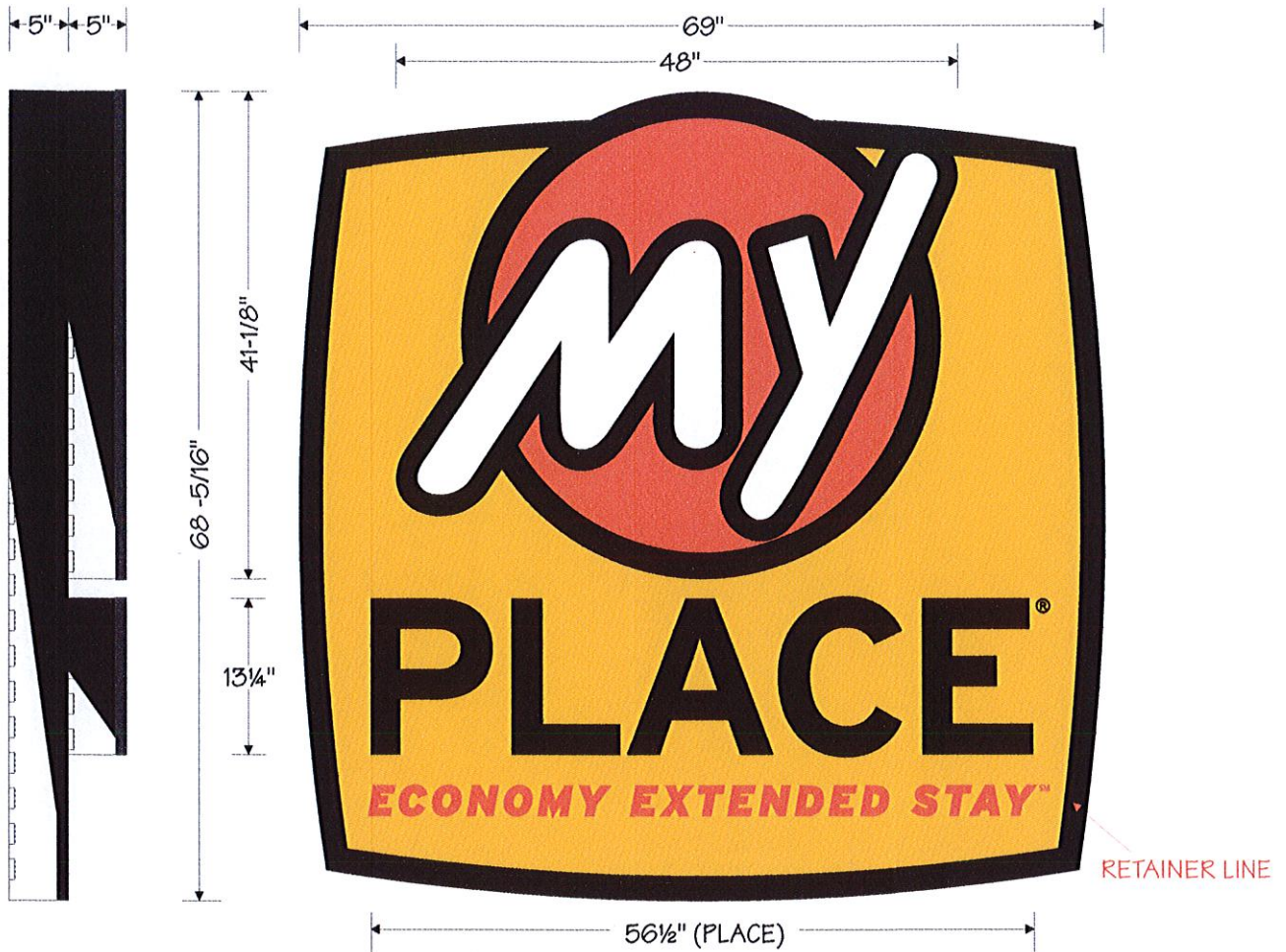
- .080 PRE-PAINTED WHITE ALUMINUM BACK
- 5" (.063) ALUMINUM RETURNS PAINTED BLACK WITH WEEP HOLES
- .150 WHITE POLYCARBONATE FACE WITH FIRST SURFACE DECORATION
- BACKGROUND COLOR: 3630-015 YELLOW WITH A 3630-22 BLACK BORDER
- ECONOMY EXTENDED STAY SM: 3630-33 RED
- @: 3630-22 BLACK VINYL
- 1 1/2" RETAINERS PAINTED BLACK
- ILLUMINATED WITH JT WHITE LED'S IN A GRID PATTERN
- WIRING: 120V REMOTE LED POWER SUPPLIES
- UL LABEL
- ELECT. OUT: PRODUCTION DISCRETION

*** PLACE: CHANNEL LETTERS MOUNTED TO 95 1/4" X 96 1/4" CHANNEL CAN**

- .063 PRE-PAINTED WHITE ALUMINUM BACK
- 5" (.040) PRE-PAINTED BLACK ALUMINUM RETURNS WITH WEEP HOLES
- .118 #2447 WHITE PLEX FACES WITH 3635-222 BLACK PERFORATED VINYL APPLIED TO FIRST SURFACE
- 1" BLACK TRIMCAP
- ILLUMINATED WITH ONE ROW OF JT WHITE LED'S
- WIRING: 120V REMOTE LED POWER SUPPLIES
- UL LABEL
- ELECTRICAL OUT: PRODUCTION DISCRETION

*** MY: CHANNEL CAN MOUNTED TO 95 1/4" X 96 1/4" CHANNEL CAN**

- .063 PRE-PAINTED WHITE ALUMINUM BACK
- 5" (.063) ALUMINUM RETURNS PAINTED BLACK WITH WEEP HOLES
- .150 WHITE POLYCARBONATE FACE WITH FIRST SURFACE DECORATION
- COLORS: 3630-22 BLACK & 3630-33 RED
- 1 1/2" RETAINER PAINTED BLACK
- ILLUMINATED WITH JT WHITE LED'S IN A GRID PATTERN
- WIRING: 120V REMOTE LED POWER SUPPLIES
- UL LABEL
- ELECTRICAL OUT: PRODUCTION DISCRETION

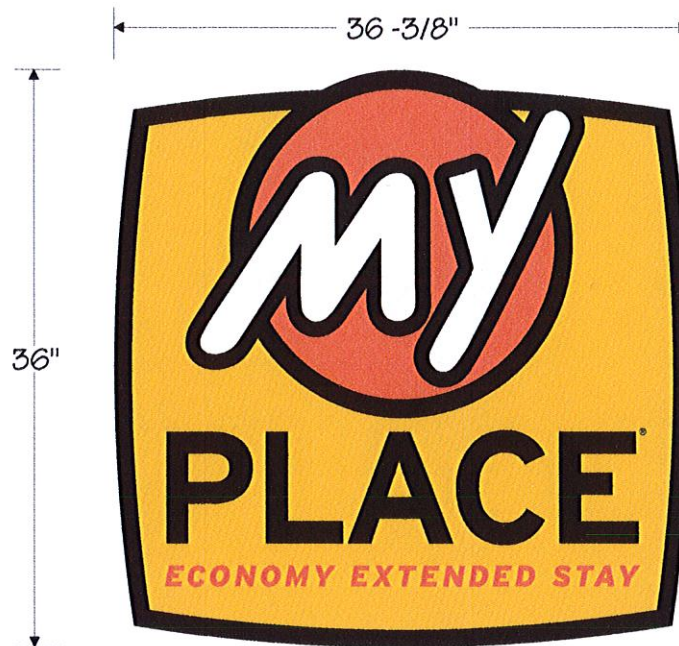


SPECIFICATIONS: QTY. 1

- * 68-5/16" x 69" EXTERIOR INDIVIDUALLY MOUNTED CHANNEL CAN
 - .080 PRE-PAINTED WHITE ALUMINUM BACK
 - 5" (.063) ALUMINUM RETURNS PAINTED BLACK WITH WEEP HOLES
 - .150 WHITE POLYCARBONATE FACE WITH FIRST SURFACE DECORATION
 - BACKGROUND COLOR: 3630-015 YELLOW WITH A 3630-22 BLACK BORDER
 - ECONOMY EXTENDED STAY SM: 3630-33 RED
 - @: 3630-22 BLACK VINYL
 - 1 1/2" RETAINERS PAINTED BLACK
 - ILLUMINATED WITH JT WHITE LED'S IN A GRID PATTERN
 - WIRING: 120V REMOTE LED POWER SUPPLIES
 - UL LABEL
 - ELECT. OUT: PRODUCTION DISCRETION

- * PLACE: CHANNEL LETTERS MOUNTED TO 68-5/16" X 69" CHANNEL CAN
 - .063 PRE-PAINTED WHITE ALUMINUM BACK
 - 5" (.040) PRE-PAINTED BLACK ALUMINUM RETURNS WITH WEEP HOLES
 - .118 #2447 WHITE PLEX FACES WITH 3635-222 BLACK PERFORATED VINYL APPLIED TO FIRST SURFACE
 - 1" BLACK TRIMCAP
 - ILLUMINATED WITH ONE ROW OF JT WHITE LED'S
 - WIRING: 120V REMOTE LED POWER SUPPLIES
 - UL LABEL
 - ELECTRICAL OUT: PRODUCTION DISCRETION

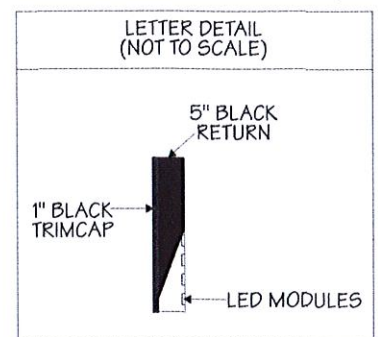
- * MY: CHANNEL CAN MOUNTED TO 68-5/16" X 69" CHANNEL CAN
 - .063 PRE-PAINTED WHITE ALUMINUM BACK
 - 5" (.063) ALUMINUM RETURNS PAINTED BLACK WITH WEEP HOLES
 - .150 WHITE POLYCARBONATE FACE WITH FIRST SURFACE DECORATION
 - COLORS: 3630-22 BLACK & 3630-33 RED
 - 1" RETAINER PAINTED BLACK
 - ILLUMINATED WITH JT WHITE LED'S IN A GRID PATTERN
 - WIRING: 120V REMOTE LED POWER SUPPLIES
 - UL LABEL
 - ELECTRICAL OUT: PRODUCTION DISCRETION



Specifications:

* Individually mounted self contained exterior channel can

- (.063) prepainted white aluminum back
- 5" (.040) prepainted black return with weep holes
- (.177) 7328 white plex face with 3630-33 red vinyl, 3630-015 yellow vinyl, and 3630-22 black vinyl applied to first surface
- 1" black tulip
- Illuminated with sloan white long gen IV LEDs in a grid pattern
- Wired: 120V - 12 VDC - LED power supply(s) mounted internally
- Elect. Outs: out back center
- Switch on return
- UL label





My Place Hotels of America, LLC

PO Box 4850

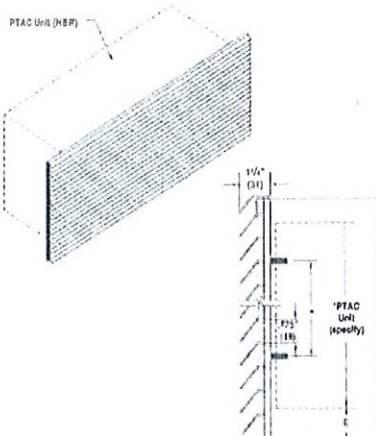
Aberdeen, SD 57402-4850

P: 605-229-8685

F: 605-229-8916

BUILDERS HARDWARE SPECIFICATIONS

Project Name:	My Place Hotel	Supplier Contact:	Quest Hospitality Suppliers 1910 8th Ave NE Aberdeen, SD 57401 800-456-3441
Spec #:	B072	Area of Use:	Guest Rooms/Back of House
Description:	Architectural Grilles	Manufacturer:	Reliable Products
Item #:		Color/Finish:	Dark Bronze
Model/Style:	Reliable Products	Dimensions:	47 1/2" x 24"
	Baked Enamel Grill w/Blank Off #186 Perimeter Frame PTAC Sleeve To Be Centered On Grille		



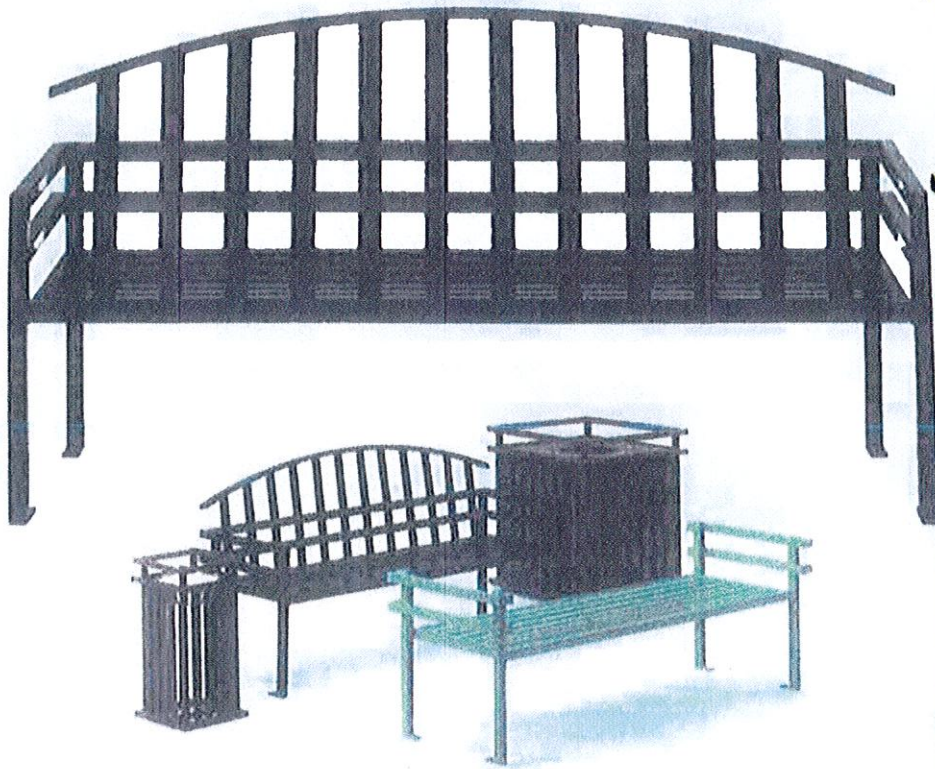
Issue Date: 3/5/14

Revision Date:

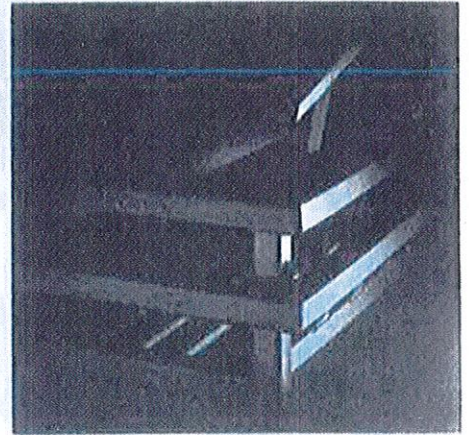
27. APPENDIX P: Site Furnishings

McCONNELL SERIES

(Patent No. Des. 413,449)



- 1- MC24 McConnell bench w/back 4'
- 1- MC26 McConnell bench w/back 6'
- MC28 McConnell bench w/back 8'
- MC14 McConnell flat bench 4'
- MC16 McConnell flat bench 6'
- MC18 McConnell flat bench 8'
- 1- MC3-22 McConnell litter 22 gal.
- MC3-32 McConnell litter 32 gal.
- MC5 McConnell ash urn
- 1- MGA5 McConnell ash/trash combo

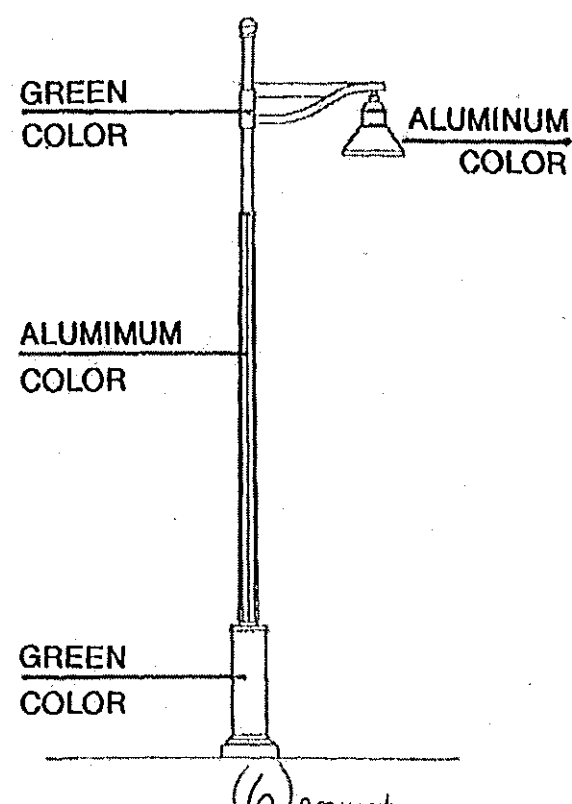
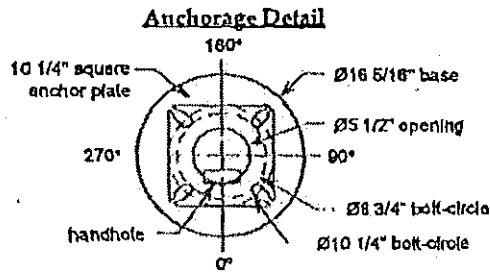


All site furnishings shall be McConnell series benches with back, Mc24, Mc26, Mc28; McConnell ash urn, Mc5, Mc5a, and trash receptacles, Mc3-22, Mc3-32.

All shall be turtle green RAL6009 powder coated finish.

Manufactured by Keystone Ridge Designs. 1-800-284-8208

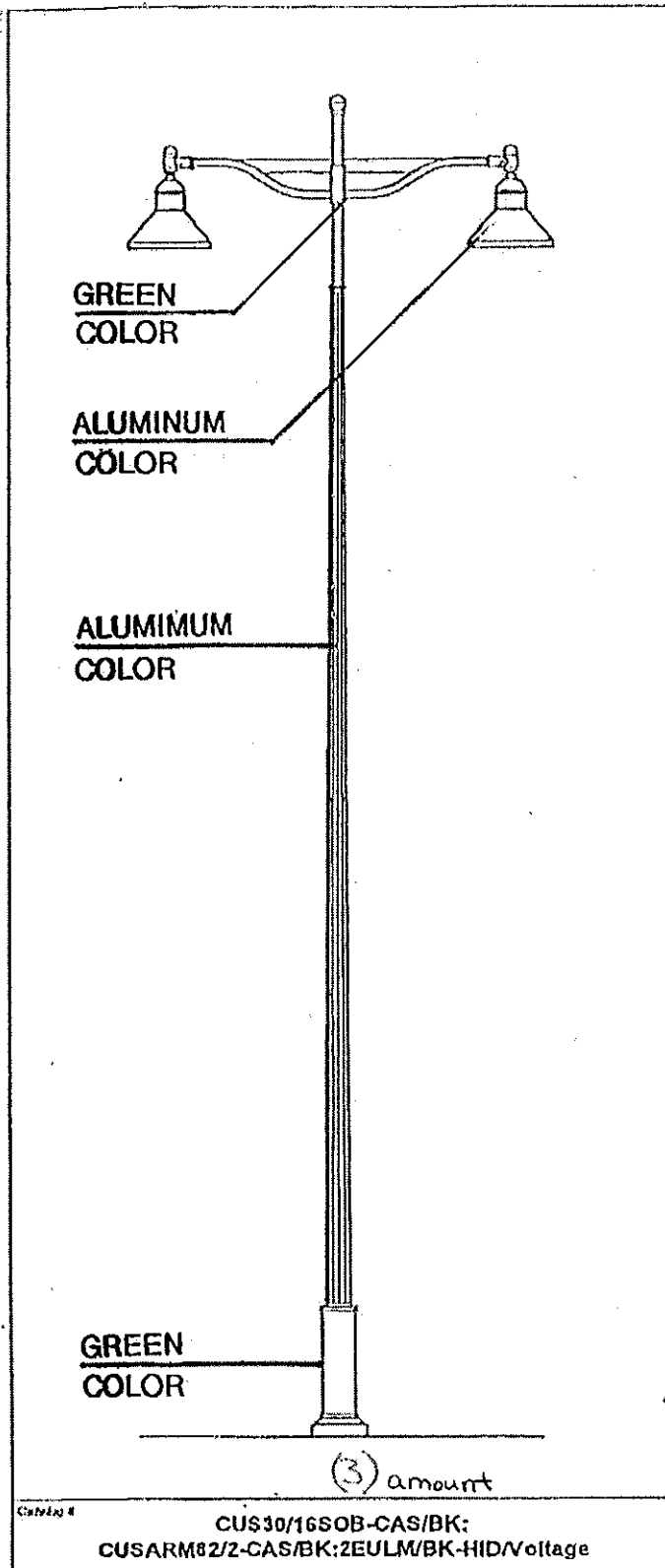
19. APPENDIX H: Site Lighting - Pedestrian Plaza And Feature Lights

<u>Custom Series</u> Aluminum & Steel Post																																							
 <p style="text-align: center;">(6) amount</p>	<p>Post: Post shall be aluminum and steel construction, consisting of an 11-gauge, 8-sharp flat flute steel shaft with a custom tenon for luminaire arm mounting, and a spun aluminum slipover base. A handhole is located near the shaft base for wiring access.</p> <p>Arm: Luminaire arm shall be a two-way of steel construction, consisting of center extension with ball finial, (2) upswept arms with cast aluminum end fittings with 1 1/2"NPT fitting for luminaire mounting. The crossarm measures 36" from post center to luminaire centers.</p> <p>Luminaire: Luminaire shall be 17 1/2"Ø x 18" tall with flat lens panel, cast aluminum ballast housing and munich-series luminaire dome.</p> <p>Luminaire shall be furnished with a high intensity discharge ballast and horizontal socket assembly.</p> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th>Lamp Type</th> <th>Mercury Vapor</th> <th>Metal Halide</th> <th>High Pressure Sodium</th> <th>Voltage</th> </tr> </thead> <tbody> <tr> <td>HID Socket Size</td> <td>Q-H150</td> <td>Q-M60</td> <td>Q-S35</td> <td>Q/120</td> </tr> <tr> <td>Q-MED</td> <td>Q-H175</td> <td>Q-M70</td> <td>Q-S50</td> <td>Q/208</td> </tr> <tr> <td>Q-MOG</td> <td>Q-H100</td> <td>Q-M100</td> <td>Q-S70</td> <td>Q/240</td> </tr> <tr> <td></td> <td>Q-H175</td> <td>Q-M160</td> <td>Q-S100</td> <td>Q/277</td> </tr> <tr> <td></td> <td></td> <td>Q-M175</td> <td>Q-S160</td> <td>Q/480</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td>Q/VV</td> </tr> </tbody> </table> <p>Anchorages: Post shall be furnished with (4) 3/4" x 17" x 3" hot-dip galvanized L-type anchor bolts, to be installed with a 3 1/2" projection each.</p> <p>Finish: Post, arm, and luminaires shall be furnished with a powder coat finish.</p> <div style="text-align: center;"> <p>Anchor Detail</p>  </div> <p>Notes: All hardware shall be stainless steel. All easily accessible exterior hardware shall be tamper resistant. Post Height: 14'-0" Overall Height: 18'-0" Base Diameter: 16 9/16"Ø</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">date: 04-27-01</td> <td style="width: 33%;">scale: none</td> <td style="width: 33%;">dwg. no.: L-4826G</td> </tr> </table> <div style="text-align: center; padding-top: 10px;"> <p>ANTIQUE Street Lamps</p> <p>2011-B West Rundberg Lane • Austin, TX 78768 (512) 977-6444 • Fax (512) 977-9622</p> </div>	Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage	HID Socket Size	Q-H150	Q-M60	Q-S35	Q/120	Q-MED	Q-H175	Q-M70	Q-S50	Q/208	Q-MOG	Q-H100	Q-M100	Q-S70	Q/240		Q-H175	Q-M160	Q-S100	Q/277			Q-M175	Q-S160	Q/480					Q/VV	date: 04-27-01	scale: none	dwg. no.: L-4826G
Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage																																			
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		Q-M175	Q-S160	Q/480																																			
				Q/VV																																			
date: 04-27-01	scale: none	dwg. no.: L-4826G																																					

Quantity #

CUS14/16SOB-CAS/BK:
CUSARM72/2-CAS/BK:2EUSM/BK-HID/Voltage

20. APPENDIX I: Site Lighting - Parking Lot Lights



Custom Series Aluminum & Steel Post

Post:

Post shall be aluminum and steel construction, consisting of an 11-gauge, 8-sharp flat flute steel shaft with a custom tenon for luminaire arm mounting, and a spun aluminum slipover base. A handhole is located near the shaft base for wiring access.

Arm:

Luminaire arm shall be a two-way of steel construction, consisting of center extension with ball finial, (2) upswept arms with cast aluminum end fittings with 1 1/2"NPT fitting for luminaire mounting. The crossarm measures 51 1/2" from post center to luminaire centers.

Luminaire:

Luminaire shall be 25"Ø x 23" tall with flat lens panel, cast aluminum ballast housing and munich-series luminaire dome.

Luminaire shall be furnished with a high intensity discharge ballast and horizontal socket assembly.

Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage
HID Socket Size	□-H60 □-H76 □-H100 □-H176 □-H250	□-M60 □-M70 □-M100 □-M160 □-M176 □-M250	□-S35 □-S50 □-S70 □-S100 □-S150 □-S250	□/120 □/208 □/240 □/277 □/480 □/480
□-MED				
□-MOG				

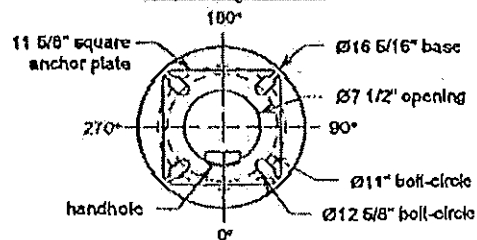
Anchorage:

Post shall be furnished with (4) 1" x 36" x 3" hot-dip galvanized L-type anchor bolts, to be installed with a 4 1/8" projection each.

Finish:

Post, arm, and luminaires shall be furnished with a "black" powder coat finish.

Anchorage Detail



Notes:

All hardware shall be stainless steel. All easily accessible exterior hardware shall be tamper resistant.

Post Height: 30'-0" Overall Height: 35'-0"
Base Diameter: 18 9/16"Ø

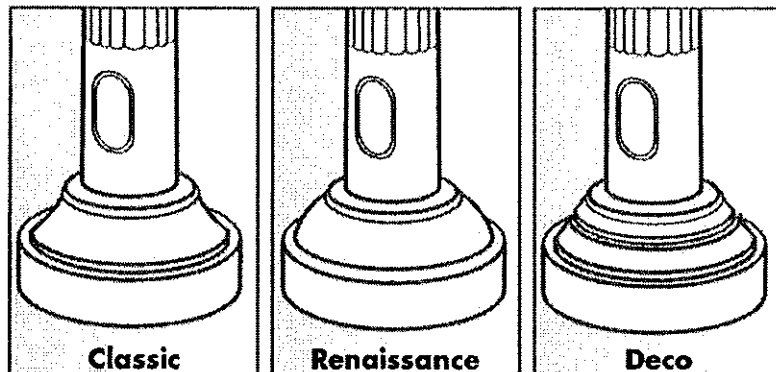
date: 04-27-01 scale: none dwg. no.: L-4826E

ANTIQUE Street Lamps

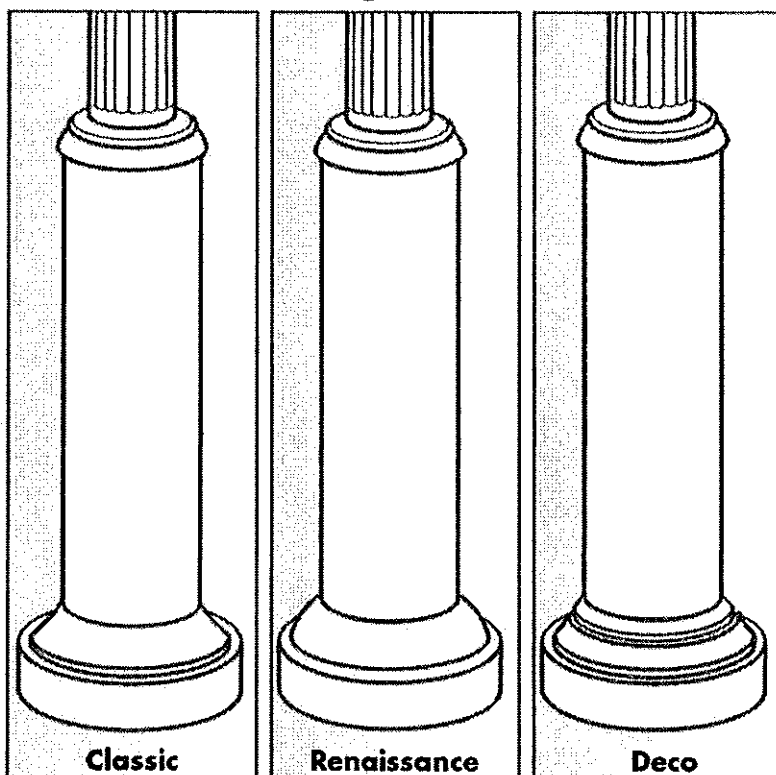
2011-B West Rundberg Lane • Austin, TX 78768
(512) 877-8444 • Fax (512) 877-9622



"BCAS" Low Base Series



"BCAF" High Base Series



SPECIFICATIONS

Low Bases "BCAS" Series: Low base assemblies are manufactured from one-piece spun aluminum and are non-structural in nature. The aluminum is alloy 1100 and spun to an approximate thickness of .125" to minimize vandalism and damage. The top hole that the pole passes through is punched based on the specified pole base diameter. The low bases can accommodate poles with base diameters of 6", 7", 8" and 9". A soft radius area is punched out of one side to allow clearance for the semi-flush handhole. The base is sanded after spinning to provide an appropriate surface for adhesion of powder coated finish.

High Bases "BCAF" Series: High base assemblies are manufactured by factory assembling two one-piece spun aluminum collars and a section of 10" diameter extruded tube. Those bases are designed to be non-structural in nature. The aluminum used in the spun collars is alloy 1100 and .125" thick to minimize vandalism and damage. The extruded tube is .188" wall alloy 6063 aluminum. The top hole that the pole passes through is punched based on the specified pole base diameter. The components are welded together at the factory with all welds located on the inside away from view. A flush 4" x 6" handhole is provided at 11" above the top of the base to align with the pole handhole. This allows access to wiring without lifting the base. The high base assemblies can accommodate poles with base diameters of 6", 7" and 8". These bases are not available for 9" diameter base poles. The entire base assembly is sanded after spinning to provide an appropriate surface for adhesion of powder coated finish and to conceal the handhole.

Installation of Base Assembly: Bases are designed for "Drop-Over" installation and must be placed over the top of the pole during erection. This must occur prior to mounting of luminaires and luminaire arms to the pole. This approach provides for a clean seamless appearance when installation is complete.

Finishes: The finish for the base assemblies is polyester powder applied coating in accordance with Valmont Industries' Specifications. Base assemblies may have finishes selected individually to match pole or elements of the pole top assembly.

CATALOG LOGIC

BASE	MATERIAL	STYLE	SIZE	POLE BASE DIAMETER	FINISH
B C	A F	C	H	8	S C
BASE BC = Base Assembly	MATERIAL AS = Spun Aluminum Drop-over AF = Fabricated Spun and Extruded Aluminum Drop-over	STYLE C = Classic R = Renaissance D = Deco	SIZE ^① L = Low H = High	POLE BASE DIAMETER 6 = 6" 7 = 7" 8 = 8" 9 = 9"	FINISH WH = White BK = Black MB = Medium Bronze SG = Slate Grey ST = Sandstone SL = Silver BR = Burgandy RD = Red CG = Copper Green BG = Blue Green HG = Hunter Green AB = Azure Blue BV = Dark Blue Violet SC = Special Color (Please Specify)

^① "H" high base is not available for 9" base diameter poles.

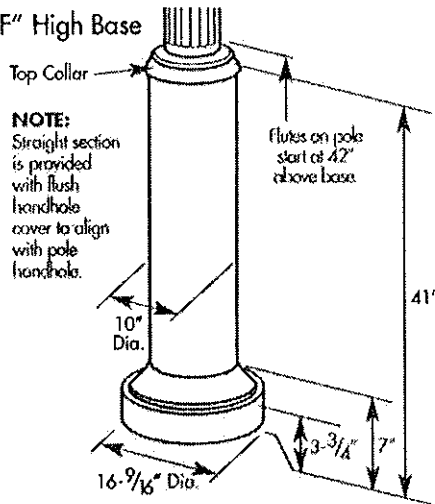


BASE ASSEMBLIES "BCAS" AND "BCAF" SERIES

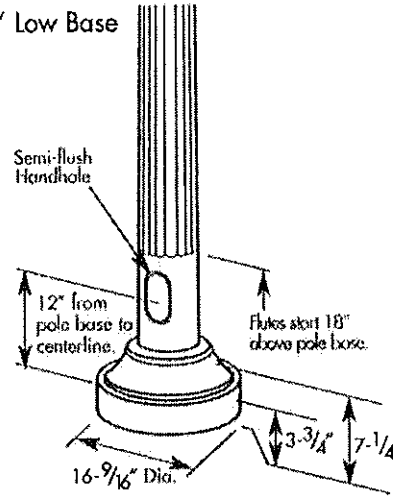
valmont 
STRUCTURES
CITY QUARTZ STEEL

CLASSIC DIMENSIONS

"BCAF" High Base



"BCAS" Low Base



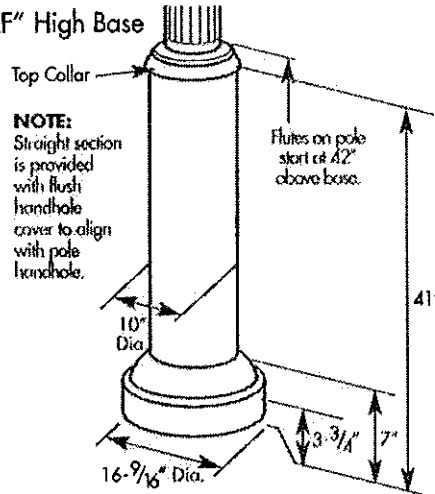
SPECIFICATION NOTES

- "BCAF" series high bases are designed for use with poles having "HT" or "HS" fluting layouts. They may also be used with City Quartz smooth "210" series poles. "BCAF" bases will not fit up to poles with "LT" or "LS" fluting patterns.

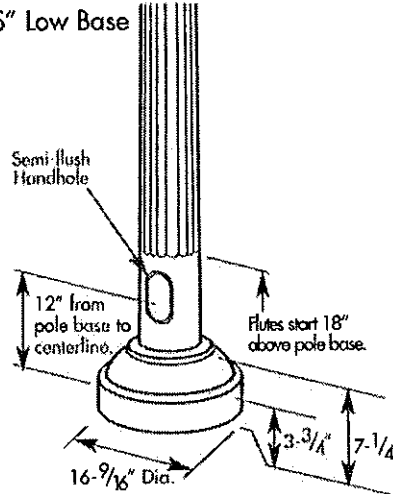
- "BCAS" series low bases may be used with all City Quartz fluted or smooth poles.

RENAISSANCE DIMENSIONS

"BCAF" High Base



"BCAS" Low Base



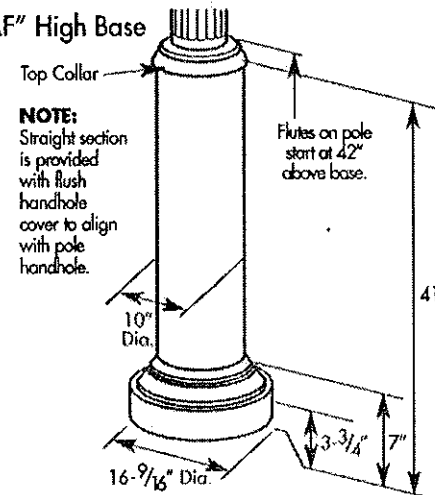
SPECIFICATION NOTES

- "BCAF" series high bases are designed for use with poles having "HT" or "HS" fluting layouts. They may also be used with City Quartz smooth "210" series poles. "BCAF" bases will not fit up to poles with "LT" or "LS" fluting patterns.

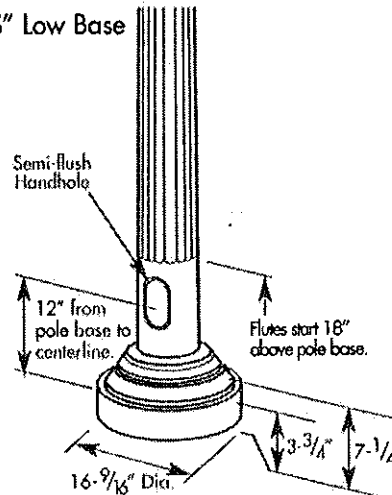
- "BCAS" series low bases may be used with all City Quartz fluted or smooth poles.

DECO DIMENSIONS

"BCAF" High Base



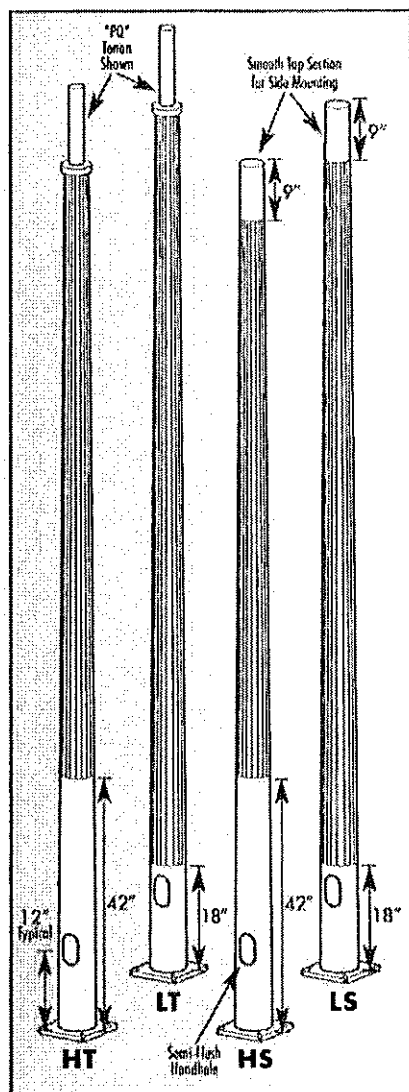
"BCAS" Low Base



SPECIFICATION NOTES

- "BCAF" series high bases are designed for use with poles having "HT" or "HS" fluting layouts. They may also be used with City Quartz smooth "210" series poles. "BCAF" bases will not fit up to poles with "LT" or "LS" fluting patterns.

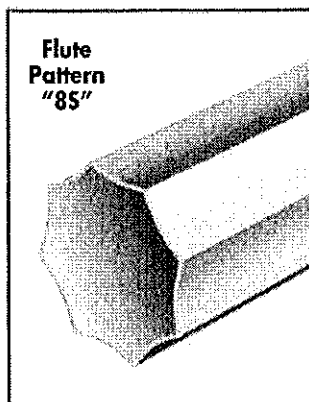
- "BCAS" series low bases may be used with all City Quartz fluted or smooth poles.



Flute Layout Options

SPECIFICATIONS

Pole: Fluted poles are formed from tubes conforming to the ASTM A595 process with a constant linear taper of 0.14"/ft. The wall thickness is available in 11 ga. (0.1196") or 7 ga. (0.1793"). The tube's seam weld is formed by the Electric Resistance Weld (ERW), and is smooth with no visual appearance.



Fluting Process: The poles are cold rolled over a precision hardened steel mandrel to form the fluted shape indicated. The fluted shaft has uniform Doric flutes. The flutes are formed with rollers in full contact with the material from the top of the crest, through the valley of the flute, to the top of the next crest. The termination of the flutes is no greater than 1-1/2" radii transition into the round section of the pole.

Semi-flush Handhole: The reinforcing handhole rim consists of a nominal 2-1/2" x 5" oval shaped pipe material. The handhole is provided with a steel attachment bar, steel cover and one round head machine screw. The handhole is welded with the rim extending 1/4" out of the pole shaft and shaped to match the diameter of the pole.

Pole Top Tenon: Pole top tenons are fabricated from structural quality hot rolled carbon steel with yield strength of 30,000 psi. A pole top plate of hot rolled commercial quality carbon steel is welded to the top of the pole shaft.

Anchor Bolts and Base Plate: Anchor bolts are fabricated from carbon steel bar conforming to the requirements of ASTM F1554 Grade 55. The upper 12" of the bolts are hot dip galvanized per ASTM A153. Each anchor bolt is supplied with two hex nuts and two flat washers. Base plates conform to ASTM A36 and are integrally welded to the tubes with a socket welded joint.

Pole Top Cap: A removable cap is provided in conjunction with drilled shafts for direct luminaire arm attachment.

Decorative Nut Covers: The optional decorative nut covers are manufactured of a sandcast aluminum alloy 356.2 and are attached to the pole using stainless steel, self tapping hex head screws.

Electrical Ground: A nut holder is provided near the handhole and includes a 1/2" - 13UNC hex head bolt and nut.

Finish: The finish for the pole is polyester powder applied coating in accordance with Valmont Industries' Specifications.

CATALOG LOGIC

SERIES	MATERIAL	BASE DIAMETER	POLE CROSS SECTION	SHAFT THICKNESS	FLUTE LAYOUT	LENGTH	FIXTURE MOUNTING	FINISH	OPTIONS
CQ	S	8	8S	AF	HT	300	PQ	SC	
SERIES CQ = City Quartz	MATERIAL S = Steel	BASE DIA. 6 = 6.00" 7 = 7.00" 8 = 8.00" 9 = 9.00"	POLE CROSS SECTION 8S = 8 Sharp Flute	SHAFT THICKNESS AF = 11 Ga. Fluted EF = 7 Ga. Fluted	FLUTE LAYOUT HT = Start 42" from Base Run to Top of Pole LT = Start 18" from Base Run to Top of Pole HS = Start 42" from Base Stop 9" from Top of Pole LS = Start 18" from Base Stop 9" from Top of Pole	LENGTH 080 = 8'-0" 100 = 10'-0" 120 = 12'-0" 140 = 14'-0" 160 = 16'-0" 180 = 18'-0" 200 = 20'-0" 250 = 25'-0" 300 = 30'-0" 350 = 35'-0" 390 = 39'-0"	FIXTURE MOUNTING PQ = 2-3/8" x 12" Tenon for PT Assembly P2 = 2-3/8" x 4" Tenon PD = 3" x 3" Tenon D2 = Drilling for 1 or 2 luminaires D4 = Drilling for 2 @ 90, 3 @ 90, or 4 @ 90 D3 = Drilling for 3 @ 120 *Specify fixture type and manufacturer for drilling pattern at time of order.	FINISH WH = White BK = Black MB = Medium Bronze SG = Slate Grey ST = Sandstone SL = Silver BR = Burgandy RD = Red CG = Copper Green BG = Blue Green HG = Hunter Green AB = Azure Blue BV = Dark Blue Violet SC = Special Color (Please Specify)	OPTIONS NC = Fluted Nut Covers SL = Special Pole Length (Please Specify)

① For available base diameter, wall thickness and length combinations, see Dimensional and Load Data table that follows.



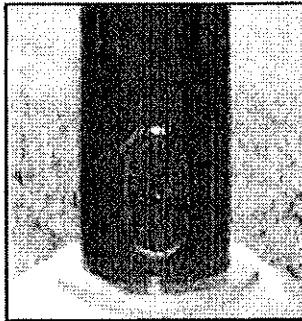
8' TO 39' ROUND TAPERED 8 SHARP FLUTE "8S" SERIES

valmont
STRUCTURES
CITY QUARTZ STEEL

ANCHOR BASE AND BOLT DIMENSIONS

Semi-Flush Steel Reinforced Handhole

The handhole is a unique semi-flush reinforced design. Rim is curved to match pole diameter in the smooth section of the pole and extends only 1/4" from the pole surface.



Cast Nut Cover

When ordering poles without base assembly, cast nut cover option can be specified to provide an attractive pole base finish.

Anchor Base Detail

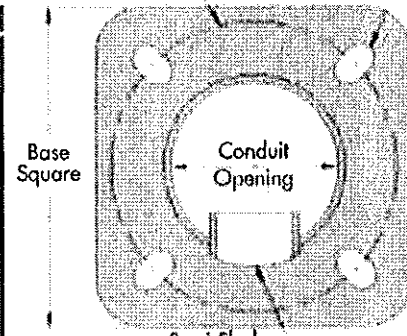
Bolt Circle

Bolt Slots

POLE DIA. (IN)	BASE DIMENSIONS (SEE DETAIL)				ANCHOR BOLTS	
	BOLT CIRCLE	BASE SQUARE	CONDUIT OPENING	BASE THK.	BOLT SIZE	BOLT PROJECT.
6.00"	9.50" ± 0.50"	10.50"	5.50"	0.75"	0.75" x 17.00" x 3.00"	3.50" ± 0.25"
7.00"	10.00" ± 0.50"	11.00"	6.50"	1.00"	1.00" x 36.00" x 4.00"	4.25" ± 0.25"
8.00"	11.00" ± 0.50"	11.75"	7.50"	1.00"	1.00" x 36.00" x 4.00"	4.25" ± 0.25"
9.00" ¹	12.50" ± 0.50"	12.00"	8.50"	1.25"	1.25" x 42.00" x 6.00"	5.00" ± 0.25"
9.00" ²	12.50" ± 0.50"	13.50"	8.50"	1.25"	1.25" x 42.00" x 6.00"	5.00" ± 0.25"

¹ Pole Diameter includes base cover.

² Pole Diameter includes nut covers.



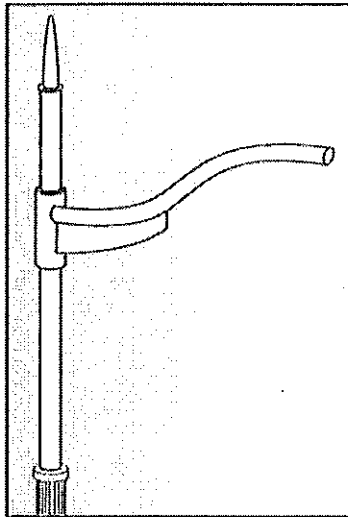
Semi-Flush
Reinforced
Handhole

STANDARD DIMENSIONAL AND LOAD DATA

POLE HEIGHT (FT)	CATALOG NUMBER [Ⓐ]	SHAFT				80 MPH [Ⓑ]		90 MPH [Ⓑ]		100 MPH [Ⓑ]	
		BASE O.D. (IN)	TOP O.D. (IN)	WALL THK. (GA)	STRUCT. WEIGHT (LBS)	MAX EPA (SQ FT)	MAX WEIGHT (LBS)	MAX EPA (SQ FT)	MAX WEIGHT (LBS)	MAX EPA (SQ FT)	MAX WEIGHT (LBS)
8	CQS-6-8S-AF-(FL)-080-(M)-(F)-(O)	6.00	4.88	11	82	28	260	22	260	18	260
10	CQS-6-8S-AF-(FL)-100-(M)-(F)-(O)	6.00	4.60	11	94	18	260	14	260	11	260
12	CQS-6-8S-AF-(FL)-120-(M)-(F)-(O)	6.00	4.32	11	106	15	260	12	260	9	260
14	CQS-6-8S-AF-(FL)-140-(M)-(F)-(O)	6.00	4.04	11	116	13	260	10	260	7	260
16	CQS-6-8S-AF-(FL)-160-(M)-(F)-(O)	6.00	3.76	11	126	11	260	8	260	6	260
16	CQS-7-8S-AF-(FL)-160-(M)-(F)-(O)	7.00	4.76	11	151	24	260	18	260	14	260
18	CQS-7-8S-AF-(FL)-180-(M)-(F)-(O)	7.00	4.48	11	163	21	260	15	260	12	260
20	CQS-7-8S-AF-(FL)-200-(M)-(F)-(O)	7.00	4.20	11	174	18	260	13	260	10	260
20	CQS-8-8S-AF-(FL)-200-(M)-(F)-(O)	8.00	5.20	11	203	23.5	260	17.5	260	13	260
25	CQS-7-8S-AF-(FL)-250-(M)-(F)-(O)	7.00	3.50	11	199	11	260	8	260	5	260
25	CQS-8-8S-AF-(FL)-250-(M)-(F)-(O)	8.00	4.50	11	234	15.5	260	10.5	260	7.5	260
30	CQS-8-8S-AF-(FL)-300-(M)-(F)-(O)	8.00	3.80	11	261	11	260	7	260	4	260
30	CQS-9-8S-AF-(FL)-300-(M)-(F)-(O)	9.00	4.80	11	307	17.5	260	12	260	8	260
30	CQS-9-8S-EF-(FL)-300-(M)-(F)-(O)	9.00	4.80	7	436	24.5	260	17.5	260	12.5	260
35	CQS-9-8S-AF-(FL)-350-(M)-(F)-(O)	9.00	4.10	11	335	12.5	260	7.5	260	4.5	260
35	CQS-9-8S-EF-(FL)-350-(M)-(F)-(O)	9.00	4.10	7	478	19	260	13	260	8.5	260
39	CQS-9-8S-AF-(FL)-390-(M)-(F)-(O)	9.00	3.54	11	355	9	260	5	260	2	260
39	CQS-9-8S-EF-(FL)-390-(M)-(F)-(O)	9.00	3.54	7	507	15	260	9.5	260	6	260

[Ⓐ] Replace (FL) with Fluting Layout Code, (M) with Fixture Mounting Method Code, (F) with Finish Code and (O) with Options Code.

[Ⓑ] EPA calculations allow for 1.3 Wind Gust Factor. Variations from standard sizes listed above, available upon inquiry at the factory. Satisfactory performance of lighting standard is dependent upon the pole(s) being properly attached to a supporting foundation of adequate design. Valmont Industries does not design or offer recommendations for foundations.



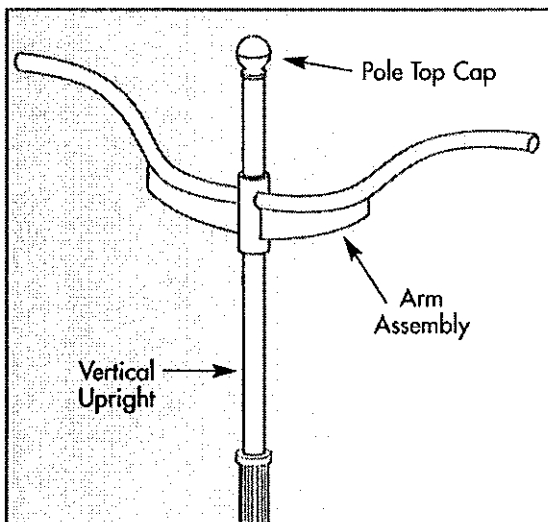
PASEO PTS-PA2

SPECIFICATIONS

Vertical Upright: Vertical uprights are manufactured from 3" O.D. x .188" steel tubing, 32,000 psi strength. A 1-1/4" diameter deburred hole is provided at a location aligning with arm termination for luminaire wiring. Steel rivnuts are factory installed in the vertical upright where required for arm mounting screws.

Luminaire Arm Assemblies: Luminaire arms are manufactured from 2" Schedule 40 pipe (2-3/8" O.D.) with a minimum yield strength of 36,000 psi. The arm is bent and welded to a one-piece half-round steel casting. A matching casting is provided for aesthetic purposes on single arms. The arm is mounted to the vertical upright with 3 stainless steel flat head socket cap screws. Two screws are located at the top of the casting and one at the bottom of the casting using beveled holes.

Luminaire Mounting: Luminaire arms may be specified with the "D2" - Hub Down or "E2" - End Slip Fit options. The "D2" option is supplied with a 1-1/2" female threaded coupling welded 1" from the end of the arm pointing down. A 1-1/2" male threaded coupling is provided to adapt to female hub luminaires. A stainless steel hex drive cup point set screw is provided in the female coupling as an anti-rotation locking device. Open ends of the arms are provided with black polypropylene flat push-in caps. Arms may also be specified with "T2" - 2-3/8" O.D. or "T3" - 3" O.D. tenon for top mounted luminaires. These tenons are located 1" from the end of the arm. "H2" and "H3" mounting has tenon on end mounted 4" O.D. hub.



Pole Top Assembly Mounting to Pole: Pole top assemblies are to be mounted to City Quartz poles with the "PQ" 2-3/8" O.D. x 12" tenon. This must be ordered with the pole to accommodate a pole top assembly. The vertical upright of the pole top assembly is provided with two sets of four stainless steel hex drive cup point set screws that secure the pole top assembly to the pole. These screws also allow for leveling of the vertical upright.

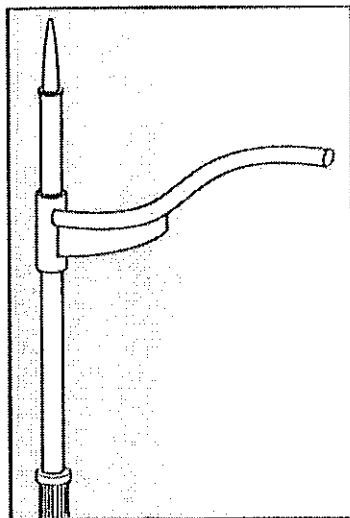
Pole Top Caps: Pole top cap options "B" - Ball and "D" - Half Dome are manufactured of spun aluminum components formed together to make a single assembly. The "S" - Spike Cap is a one-piece cast aluminum part. These three options are mounted to the pole top assembly with three stainless steel fasteners. The "F" - Flat Top Cap is a one-piece push-in style polypropylene part that is available in black finish only.

Finishes: The finish for the pole top assemblies is polyester powder applied coating in accordance with Valmont Industries' Specifications. Pole top assemblies may have different finishes on vertical upright, arm assembly and pole top cap.

CATALOG LOGIC

(3) Amount

POLE TOP ASSEMBLY	MATERIAL	SERIES	NUMBER OF ARMS	LUMINAIRE MOUNTING	VERTICAL UPRIGHT FINISH	ARM ASSEMBLY FINISH	POLE TOP CAP	POLE TOP CAP FINISH															
P T	S	PA 2	2	E 2	V S C	A S C	S	S C															
POLE TOP ASSEMBLY PT = Pole Top Assembly	MATERIAL S = Steel	SERIES PA2 = Paseo #2	NUMBER OF ARMS 1 = Single 2 = Double @ 180	LUMINAIRE MOUNTING E2 = End Slip Fit 2-3/8" O.D. T2 = Tenon Up 2-3/8" O.D. x 3" T3 = Tenon Up 3" O.D. x 3" D2 = Threaded Hub Down 1-1/2" NPS Female with Male Adapter H2 = Tenon Up-Hub Mounted 2-3/8" O.D. x 3" H3 = Tenon Up-Hub Mounted 3" O.D. ST = Special Mounting (Please Specify)	VERTICAL UPRIGHT, ARM ASSEMBLY, POLE TOP CAP FINISH <table border="0"> <tr> <td>WH = White</td> <td>SL = Silver</td> <td>HG = Hunter Green</td> </tr> <tr> <td>BK = Black</td> <td>BR = Burgandy</td> <td>AB = Azure Blue</td> </tr> <tr> <td>MB = Medium Bronze</td> <td>RD = Red</td> <td>BV = Dark Blue Violet</td> </tr> <tr> <td>SG = Slate Grey</td> <td>CG = Copper Green</td> <td>SC = Special Color (Please Specify)</td> </tr> <tr> <td>ST = Sandstone</td> <td>BG = Blue Green</td> <td></td> </tr> </table>				WH = White	SL = Silver	HG = Hunter Green	BK = Black	BR = Burgandy	AB = Azure Blue	MB = Medium Bronze	RD = Red	BV = Dark Blue Violet	SG = Slate Grey	CG = Copper Green	SC = Special Color (Please Specify)	ST = Sandstone	BG = Blue Green	
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ST = Sandstone	BG = Blue Green																						
							POLE TOP CAP B = Ball S = Spike D = Half Dome F = Flat (pk Only)																



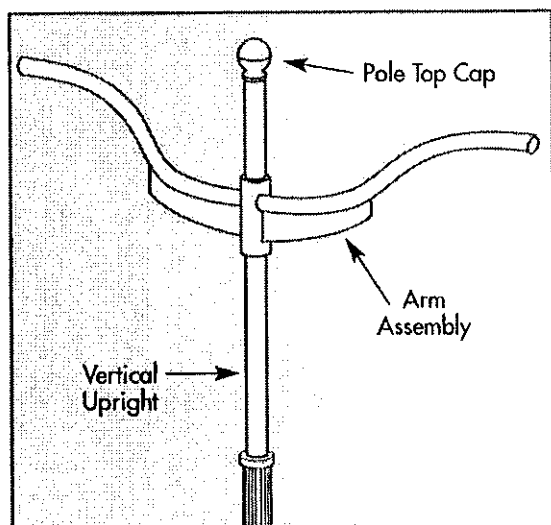
PASEO PTS-PA2

SPECIFICATIONS

Vertical Upright: Vertical uprights are manufactured from 3" O.D. x .188" steel tubing, 32,000 psi strength. A 1-1/4" diameter deburred hole is provided at a location aligning with arm termination for luminaire wiring. Steel rivnuts are factory installed in the vertical upright where required for arm mounting screws.

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Finishes: The finish for the pole top assemblies is polyester powder applied coating in accordance with Valmont Industries' Specifications. Pole top assemblies may have different finishes on vertical upright, arm assembly and pole top cap.

CATALOG LOGIC

(6)
Amount

POLE TOP ASSEMBLY	MATERIAL	SERIES	NUMBER OF ARMS	LUMINAIRE MOUNTING	VERTICAL UPRIGHT FINISH	ARM ASSEMBLY FINISH	POLE TOP CAP	POLE TOP CAP FINISH															
P T	S	- P A 2	1	E 2	V S C	A S C	S	S C															
POLE TOP ASSEMBLY PT= Pole Top Assembly	MATERIAL S= Steel	SERIES PA2=Paseo #2	NUMBER OF ARMS 1= Single 2= Double @ 180	LUMINAIRE MOUNTING E2 = End Slip Fit 2-3/8" O.D. T2 = Tenon Up 2-3/8" O.D. x 3" T3 = Tenon Up 3" O.D. x 3" D2 = Threaded Hub Down 1-1/2" NPS Female with Male Adapter H2 = Tenon Up-Hub Mounted 2-3/8" O.D. x 3" H3 = Tenon Up-Hub Mounted 3" O.D. ST = Special Mounting (Please Specify)	POLE TOP CAP B = Ball S = Spike D = Half Dome F = Flat (BK Grt)																		
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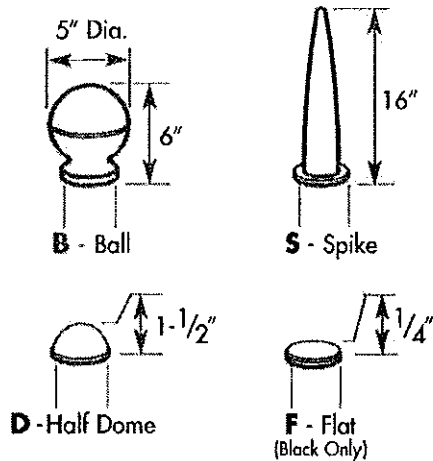


STEEL POLE TOP ASSEMBLIES PASEO SERIES "PTS-PA2"

valmont 
STRUCTURES
CITY QUARTZ STEEL

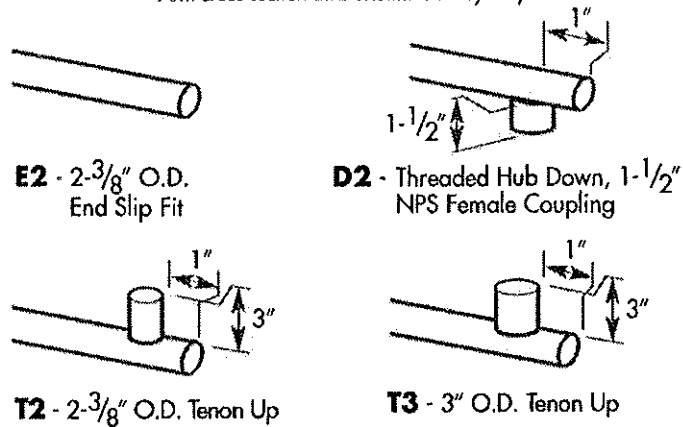
POLE TOP CAP AND LUMINAIRE MOUNTING OPTIONS

Pole Top Cap Options



Luminaire Mounting Options

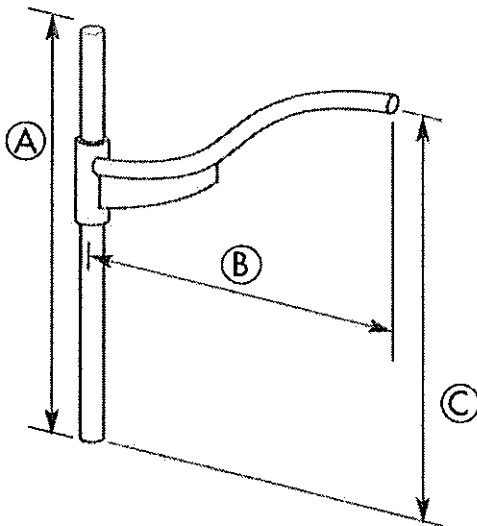
Details are shown to indicate tenon or coupling size.
Arm cross section and orientation may vary.



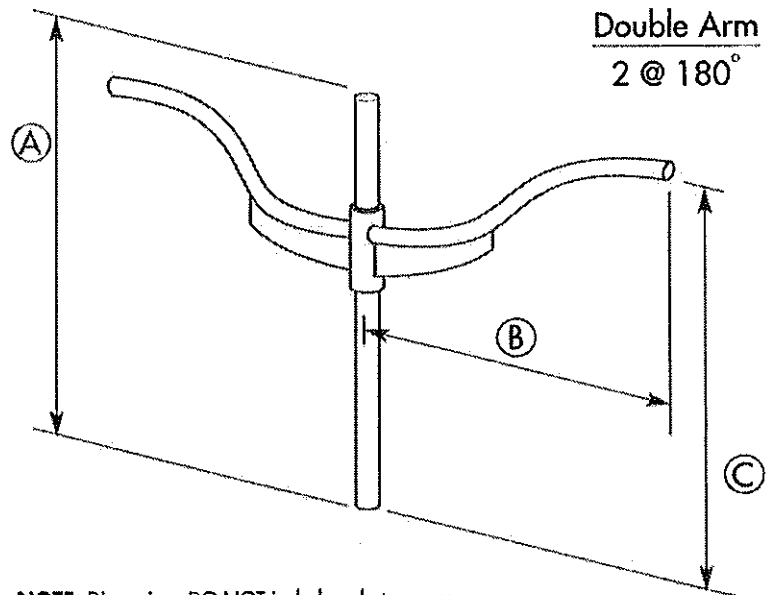
Note: D2, T2 and T3 options provided with polypropylene flush black end cap.

STANDARD DIMENSIONAL AND LOAD DATA

Single Arm



Double Arm 2 @ 180°



NOTE: Dimensions DO NOT include pole top caps.

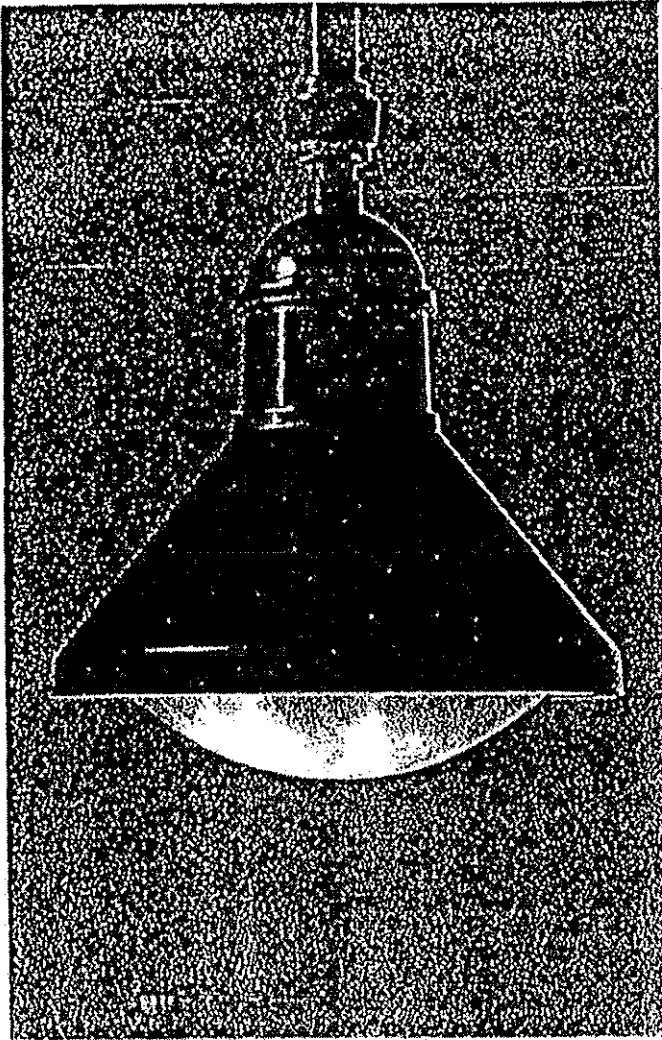
DIMENSIONS				LOAD DATA	
POLE TOP SERIES	(A) OVERALL HEIGHT	(B) HORIZ. DISTANCE TO LUMINAIRE	(C) HEIGHT TO LUMINAIRE ABOVE POLE TOP	POLE TOP ASSEMBLY EPA (SO FT)	POLE TOP ASSEMBLY WEIGHT (LBS)
Single Arm PTS-PA2-1-(M)-(VF)-(AF)-(TC)-(TF)	4' - 6"	3' - 3"	4' - 3"	3.2	64
Double Arm (2 @ 180 Degrees) PTS-PA2-2-(M)-(VF)-(AF)-(TC)-(TF)	4' - 6"	3' - 3"	4' - 3"	4.9	84

"PTS" Steel Pole Top Assemblies Ordering Notes:

- 1) Replace (M) with Luminaire Mounting Selection, (VF) with Vertical Upright Finish Selection, (AF) with Arm Assembly Finish Selection, (TC) with Pole Top Cap Selection and (TF) with Pole Top Cap Finish Selection. See Catalog Logic for choices.
- 2) Pole Top Assembly weight and EPA must be added to luminaire load data to determine appropriate pole size. Pole top assemblies are designed for a maximum load of 140 lbs and 5.0 EPA per luminaire.

19. APPENDIX H: Site Lighting – Luminaires

MUNICH SERIES Large Luminaires



EM25RT GCSG

EUROTIQUE™
Architectural Lighting

ANTIQUE Street Lamps

An Skelly Brands Company

2011-B W. Rundberg Ln. • Austin, TX 78758
Ph (512) 977-8444 • Fax (512) 977-9622
www.antiquestreetlamps.com

SPECIFICATIONS

DESCRIPTION

The luminaire shall consist of a ballast housing and skirt with internal reflector and horizontal lamp. Lens shall be flat, sag, half sphere or drop globe.

DIMENSIONS

Dimensions shall be as detailed on the back page.

MATERIALS

The ballast housing and skirt shall be cast aluminum. Globe material shall be clear glass, flat or sag, or clear acrylic, half sphere or drop globe. The reflector shall be anodized and segmented for superior uniformity and control. All hardware shall be stainless steel.

INSTALLATION

The luminaire shall have 1.5" female, NPT at top for mounting to Eurotique™ 5" diameter arms. The globe shall be gasketed and mounted on an aluminum ring which is hinged to the skirt and furnished with a captive screw for easy relamping. The reflector shall pivot and be secured with a captive screw for easy access to the ballast plate. The ballast and socket assembly shall be furnished with a quick disconnect plug and mount on a removable ballast plate.

FINISH

For finish specifications and color options, see "Finish" section in catalog.

LIGHT SOURCE

Luminaires shall be furnished with an H.I.D. ballast and socket assembly. Luminaire shall be UL listed and labeled as suitable for wet locations. Socket shall be glazed porcelain, mogul base, with a copper alloy nickel plated screw shell and center contact. Ballast shall be core and coil, high power factor, regulating type.

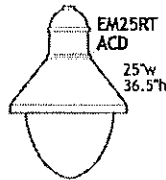
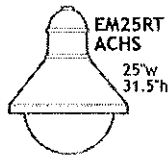
CERTIFICATION

Upon request, manufacturer shall supply UL file# and listing information.

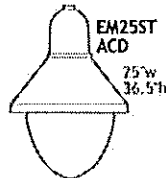
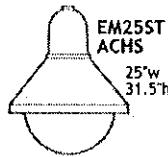
PHOTOMETRY

See "Eurotique™ PHOTOMETRICS" tab in catalog.

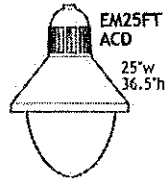
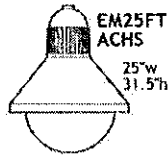
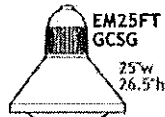
Ringed
Ballast Housing



Smooth
Ballast Housing



Fluted
Ballast Housing

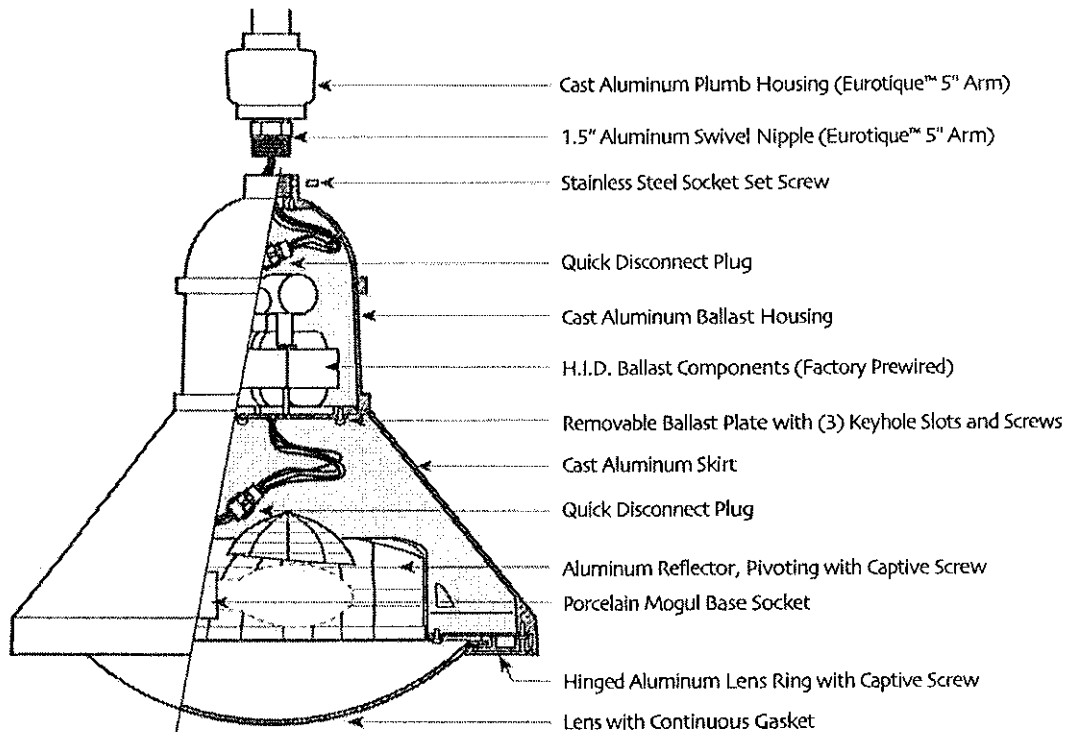


Flat Glass

Sag Glass

Half Sphere

Drop Globe



ORDERING INFORMATION

Choose the **boldface** catalog nomenclature that best suits your needs and write it on the appropriate line.

Example: **EM25RT 175H MOG GCSG SR2 120 ANBK DF**

Series	Wattage/Lamp		Distribution ³	Voltage	Finish ⁷	Options
EM25RT	175H	MOG 175 watt Mercury Vapor	SR2 IES Distribution	120	ANBK Black	HS House Side Shield
EM25ST	250H	MOG 250 watt Mercury Vapor	SR8 IES Distribution	208	ANDB Dark Bronze	SF Single Fusing
EM25FT	400H	MOG 400 watt Mercury Vapor	SR4SC IES Distribution	240	ANDG Dark Green	DF Double Fusing
	175M	MOG 175 watt Metal Halide	SR4W IES Distribution	277	ANVG Verde Green	
	250M	MOG 250 watt Metal Halide	SR5S IES Distribution	347	ANPP Prime Painted	
	400M	MOG 400 watt Metal Halide		480¹	CM Custom Match	
	150S	MOG 150 watt High Pressure Sodium		TB¹	CS Custom Select RAL colors	
	250S	MOG 250 watt High Pressure Sodium				
	400S	MOG 400 watt High Pressure Sodium				

Lens Material

GCF Glass, Clear Flat
GCSG Glass, Clear Sag
ACHS Acrylic, Clear Half Sphere
ACD Acrylic, Clear Drop Globe

ANTIQUE

ANTIQUE Street Lamps
 An Acuity Brands Company

2011-B W. Rundberg Ln. • Austin, TX 78758
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